

**CONSRVATION AND PRESERVATION OF COLONIAL  
FACADES IN HISTORIC URBAN NEIGHBORHOODS WITH  
SPECIAL REFERENCE TO SLAVE ISLAND**

**A thesis presented to the University of Moratuwa, as  
Master of Science degree in Architectural Conservation of  
Monuments and Sites.**



University of Moratuwa



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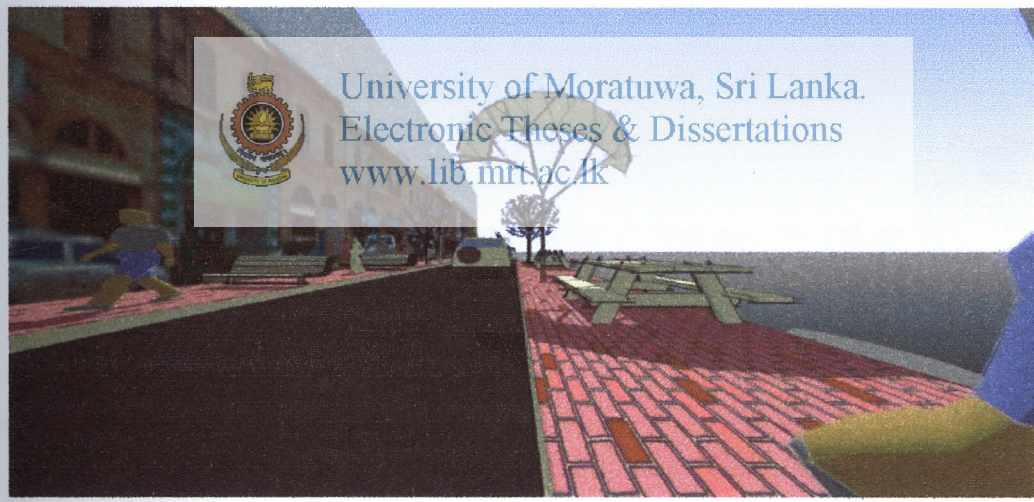
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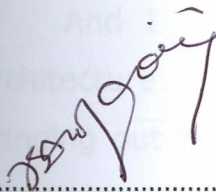
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## Declaration

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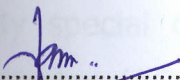
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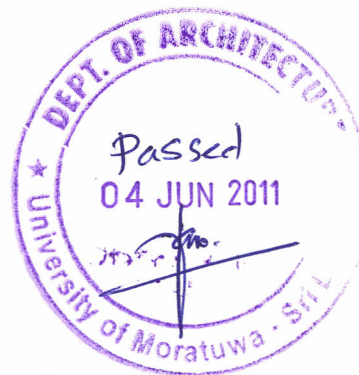
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Professor S.M. Manawadu  
Course Director (ACOMAS)  
Department of Architecture  
University of Moratuwa



## Acknowledgments

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This scientific investigation, I had a discussion with Professor S.M Manawadu, professor of architecture and course director (ACOMAS) about bringing out all aspects on the urban conservation and heritage management and unfailing encouragement. Without Professor S.M. Manawadu's dedicated effort, this hierarchy would not have been successfully completed.

And I had with professor Nimal De Silva, professor of architecture and former course director (ACOMAS) about bringing out all aspects on the urban conservation and heritage management and unfailing encouragement. Without Professor Nimal De Silva's dedicated effort, this hierarchy would not have been successfully completed.



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Therefore, I wish to express my sincere gratitude to Professor S.M. Manawadu and professor Nimal De Silva.

My special grateful to Architect C.J.De seram, former course director (ACOMAS) in department of Architecture University of Moratuwa, for his guidance and encouragement.

My sincere gratitude, architecture D.P. Chandrasekhara, senior lecturer in department of architecture in university of Moratuwa for his advice from time to time.

I wish to thanks Architect Niashan Nawarathne and Mr V.P.A. De Mel, staff technical officer in department of architecture, university of Moratuwa, for many suggestions without their critical appraisal nothing would have been possible. Several

persons and institutions have helped me in my work and my grateful to them for their assistance – staff of Colombo municipal council, providing voluble information's and assistance people of Slave Island for helping to find necessary information – staff of slave island police station for helping find necessary information. And grade help from Mr. Jithendra bandara for langue and grammar corrections.

Finally I wish to thank my family for the unfailing support and encouragement.



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## **Introduction**

### **CONSRVATION AND PRESERVATION OF COLONIAL FACADES IN HISTORIC URBAN NEIGHBORHOODS WITH SPECIAL REFERENCE TO SLAVE ISLAND**

Present urban neighborhoods in srilanka are descending from colonial influences; some of the streetscapes are still remaining in several cities and suburbs such as Colombo, Galle fort, Jaffna and Slave Island. These cites represent they own urban identity. Through of the Portuguese, Dutch and British colonial influences, these streetscapes are showing three identities of colonial urban neighborhoods in one city. That is historical product and can't duplicate or rebuild.

Colonial building facades are more important part of the colonial urban streetscape however Façade is a view point of the colonial identity. When considering growth of the urban architecture colonial period is bench mark of all cities. When observing of the present colonial neighborhoods, Portuguese, Dutch and British architectural, cultural and sociological values.

The slave island is still remaining and living colonial urban streetscape in Sri Lanka however they represent Dutch and British architectural identity, also strongly felt as result of vanishing.

## **Objectives**

It is strongly felt as result of vanishing many of the colonial townships with colonial urban facades (decorations) of considerable antiquity, the accepted tradition will disappear very soon. The necessity and written documents is inevitable

The documents of this nature lands to prove of support the true origin of the society of Slave Island, and changing attitude by external influences.

It is necessary to maintain the present activities as it is the main livelihood of the owners. However façade improvement to the building with architectural features of the period it belongs is necessary.

Slave Island should not to be regarded only as a historical site or heritage museum, but as a living entity and part of a changing world. The ability of its people to adapt is a major driving force insuring is continuity for more than 100 years.

## **Limitations**

For Reach and valuable course work, limits to area, from the Slave Island junction to the railway station (Justice Akbar mawatha).

However, presently the building is used as a commercial area with variety of shops including hotels, groceries, food stores; shoe shops, a Muslim library etc.

And upper floor have been utilized as residential units.

This building is not properly maintained due to the inherent problem of multiple ownership. According to a survey carried out by special project division in 1998 there are 21 shop owners in this building. The tenants lived in this building for more than 80 years. But not undertaken any repairs of their units and the buildings are in a deteriorated condition.

The existing wholesale business buildings show the British architectural characters of the wholesale shop buildings. And those buildings to be conserved in order to preserve the special character of the slave island area.

## **Methodology**

A literary survey was made to establish the different milepost of the development of colonial townships in Sri Lanka and Slave Island.

These facts were verified by the preliminary observation in the subsequent, filed surveys; different sites were identified for the study of the different milepost of the development.

During the field surveys, the observations and interviews were made to understand the original data and understanding to residences aims.

And course study of Slave Island, were carry out in the form of drawings and specifications. The information's were classified in to cause of decay interventions of buildings facades such as building form, roof, wall, door/window, floor, other.



And analyzing of all information's were classified in to intervention of remedial measures preservation of building facades such as building form, roof, wall, door/window, floor, other. From The conclusion of the all aspects, providing regulations, recommendations and design guide lines to maintain and secure to Slave Island's colonial identity, (facades and urban neighborhoods) for future generation.

It consists of four chapters, such as:

#### Introduction

1. Colonial period and its heritage in sri lanka
2. Examination of historic buildings in streetscape of slave island- case study
3. Proposal for preservation of streetscape of slave island
4. Curative Proposal for preservation of historic streetscape

Conclusion

#### **Outcome of the study**

The project's overall leitmotif is complex because it aims to

- Preserve the valuable and unique fabric of the colonial city, and
- Slow down the deterioration of its commercial store front area

This is viewed as three-way strategy of

- Promoting economic and social development, while
- Preserving the historic building's façade and improving living condition

- The exercise will deal with the documentation of available facts on colonial urban aesthetic elements (facades decoration) the varieties, material technology, development and influences: and the determine factors in the design of the urban environment. It would wind up the architectural and social impression too. Preserved, and to control the changes in those areas where change is inevitable and irreversible. Slave Island should not to be regarded only as a historical site or heritage museum, but as a living entity and part of a changing world. The ability of its people to adapt is a major driving force insuring is continuity for more than 100 years.

We will take the initiative to create an urban environment conducive for living as well as for wholesale and retail commercial activities in the slave island area. Should Active privet participation in conservation and development activities also will encouraged, together with government and privet sectored involvement, with all those above parties together it would be possible to implement the conservation and redevelop plan, to uplift the beauty of slave island area.

## **Chapter one**

### **Colonial period and its heritage in Sri Lanka**

#### **1.1 colonial history of Sri Lanka**

Colonialism and colonies, one country's domination of another country or people –usually achieved through aggressive, often military, actions –and the territory acquired in this manner. The terms colonialism and imperialism are sometime used interchangeably, but scholars usually distinguish between the two, reserving colonialism for instance where one country assumes political control over another and using imperialism more broadly to refer to political or economic control exercised either formally.(1) sri lanka experienced similar incidence since 1505 AD

In the past five hundred years, they have been several types of colonies. The main ones were colonies of settlement, colonies of exploitation, and what might be called contest settlement colonies. Most European powers establish more than one type of colony. The British Empire, for instance, included colonies of settlement (Virginia, Massachusetts, New Zealand, and New South Wales), colonies of exploitation (Nigeria, Jamaica, and Malaya), a preexisting empire (India), contested settlement colonies (Kenya), and spheres of influence (Argentina). (1a)

### **1.1.1 Sri Lanka as a colony**

Kolomtota was the roadstead first used by traders from china and Far East, India, Persia, Abyssinia and Indonesia, who come to barter for the country's spices. In April 1505, however, an epoch of 443years of foreign occupation began in Sri Lanka, when the Portuguese fleet under the command of "don Lorenzo de almeida" arrived in Galle's Harbor.

Soon after, Portuguese rule become official with the signing of a trade treaty with king **Parakramabahu the VIII**, and it prevailed until 1656. Following the Portuguese were the Dutch, who occupied the country's maritime province from 1656 to 1796. Then came the British, ruling the region as a colony until 1948 AD

This era of western domination ended peacefully when Sri Lanka was granted independence in 1948 however, foreign occupation had tremendous impact on the people of Sri Lanka. Laws were changed, the economy strengthened, and the monarchy gave way to a parliamentary democracy. The down of a new culture arose.

During the colonial period Styles began to change- from clothing to customs, religion to names. An entire new culture took root. Even today, the influence of the Portuguese, Dutch and British is clearly visible Colombo's architecture, names, clothing, food, language and attitudes. Buildings from all three regimes still stand in their pristine glory as mute reminders.

The first to adopt Colombo as their administrative centre, the Portuguese built forts, stores, barracks, churches and residential quarters. The Dutch then used the city as their operational center and expand her borders.

The British made Colombo the capital of their new colony and positioned her as a blossoming metropolis of the east.

Colombo's current centre, fort, got its name from the presence of the Portuguese and the Dutch fortifications located there. At the turn of the 21<sup>st</sup> century, the British, who took over from the Dutch after bitter fighting, razed the last structures of the Dutch stronghold.

Many links between Sri Lanka and Portugal are in evidence to day several items of furniture in Sri Lanka derive from the Lusitanian style. Sri Lanka and Portuguese names have many similarities: Mendis (Mendez), de Silva (da Silva)' Dias (Diaz), Corea (Correa), Tissera (Teixeira), de Mel (de mello), and Swaris (Soares), to name a few.

The most obvious legacy of the Portuguese, however, is Catholicism, still practiced by small percentage of the population. The Dutch introduced the roman Dutch law system which Sri Lanka still uses today. The burgher community, another Dutch legacy, is descendants of the original settlers from Holland and neighboring counters. They came out with the Dutch united east India Company and reminded throughout the British period that followed.



The Dutch culinary tradition also endures here. Popular local delicacies include Lampri and pilaf, frikkadelas and meatballs, pastellas (curry patties wrapped in crisp pastry), love cake, breudher and poffertjes.

The Dutch museum, housed at "Dutch House" at prince street in pattah ,was built in the 17<sup>th</sup> century, as the former residence of Dutch governor Count Carl Van Ranzow , it embodies the unique architectural futures of a colonial Dutch townhouse another impressive sentinel of the period is the wolvendaal church, constructed in Doric style.

It was the British, however, who left a truly lasting impression on almost every aspect of life in Colombo. They developed a unique urban plan to modernize Colombo. Under which specific areas were demarcated for economic, political, judicial and cultural developments they encourage the rapid uninterrupted development of the plantation sector, which in turn presented demand for a banking and commercial shopping complex at fort.

The British were also responsible for creating the country's first parliamentary building, temple trees (the official residence of today's prime minister and formerly of the colonial sectary), and the president's house (the official residence of the president and of the former British governor), in 1923, a classical-style secretariat and a town hall were constructed. The British introduced schools and streamlined education. They instigated a democratic government and paved the way of efficient administration.

By initiating a road and rail network, they introduced modern method of transport, among the many first-class hotels they constructed, three-the Taprobana (grand oriental hotel), the Galle face hotel and the mount lavinia hotel-are still standing.

Several sports clubs for cricket, rugby football, tennis, swimming, rowing and yachting also exist today, some of them more than 100 years old.

### **1.1.2 as heritage of the colonial urban neighborhoods**

Architecture and history are closely intertwined. Each period in the country's history has left its impression through building of architectural styles. The forces which bring about architectural styles are many: technology, materials, at hand, fashion trends, family needs, topography, climate, etc. however colonial neighborhoods are colonial's product that they mixed with they own social, cultural believes.

Few examples exist of any pure architectural style. For the most part, the early builders incorporated different architectural elements in to structures according to their own personal whim or sense of beauty, without regard to any "standard" of design. It is this characteristic, in fact, which adds a distinctive charm to colonial architecture and sets it apart as a unique feature of the country.

The colonial architecture spanning about 450 years, representing an important phase in the modernization of the country, modification of a stark medieval life got to ultimately

become a democratic one at the dawn of independence in 1948. The modern Sri Lankan life style, the physical environments and the very urbanity experienced today cannot be understood without recognizing the happening of this historical period. It is important to understand historic architectural styles, because buildings are often eclectic and combine the best elements of different styles.

When elevating development proposals in older areas, it is necessary that there is compatibility in style, scale, and use of materials between new and old structures. This is spicily essential when considering new construction adjacent or in close proximity to culturally significant buildings.

It is strongly felt as result of vanishing many of the colonial town's type with colonial urban facades (decorations) of considerable antiquity, the accepted is inevitable. Present urban neighborhoods in Sri Lanka from colonial influences, some of the monuments still remaining in this city, represent the sociological, architectural and archeological values. Values of this, we cannot duplicate. Therefore we have to protect as they are.

When considering the conservation of the urban spaces, it is important to consider about the colonial period. Such as present all cites develop on the colonial urban area. "Hegelian intuition that nothing in life ever isolated, that any event and creation of a period is connected by a thousand threads with the culture in which it is embedded" (2)

The architecture with aesthetic characters of facades reflects each stage of the history with remarkable accuracy.

The display of the architecture is the skeleton and outer garment is the aesthetic of the social body. This is reflecting at the technical and economical level of the society. Throughout the history of aesthetics, a house that a man inhabits, the places and public buildings, temples, resting place etc. were reflective of the essential characters of man as social being;

"Hegel saw all periods as a monument since them embodiments of the moving spirit "one which" manifested itself in a collective, the supra-individual entities of nations or period"(3)

"Then writing of most historians implicitly deny the relevance of art to history. If questioned they might plausibly respond that knowledge of the outward appearance of cities contribute little understanding of them as social, economic and political entities." (4)

People cared for their houses not merely as stronghold of safety and domestic wealth: they loved them for their architecture. Today we are heirs to a legacy of fine building and to continuing fascination with the details and stylistic which given out houses their character. That interest in old houses has become something of national obsession. The desire to know and understand the history of our homes has never been stronger. We are, perhaps more than ever before, aware of the crucial importance of our great architectural traditions and the central position they occupy in what we have come to call our heritage.

At the heart of this concept of heritage lies our idealized image of the colonial house, which, great or small, ostentatious or plain, has come to epitomize so many of our nations of civilization.

“One of the foremost defenders of traditional values in design and workman ship, the Prince of Wales, has repeatedly stressed the influential role which fine architecture can play in our everyday existence. As the protagonist of human architecture based on human scale and sound techniques and materials, he has championed the idea that good building is not only an index of civilization, but also an important contributory factor in the quality of life which we enjoy.” (5)

Today, those who value the best of the old in our heritage are convinced of its relevance to the new. But there is, it has to be said, a great deal that must be learned or re-learned.

In recent decades more modern tendencies have prevailed, and we have come perilously close to losing much of the rich vocabulary and even the grammar which gave our architectural language in previous ages its subtlety and fluent charm. What we need now is a return to visual literacy, an understanding of the all elements and details of the house as they have changed through five centuries. To promote such an understanding, which alone can be the only proper basis for conservation, restoration and sensitive design, is one of the main aim.

## **1.2 Development of facades in colonial townships in Sri Lanka and Slave Island**

### **1.2.1 Colonial township and their architecture**

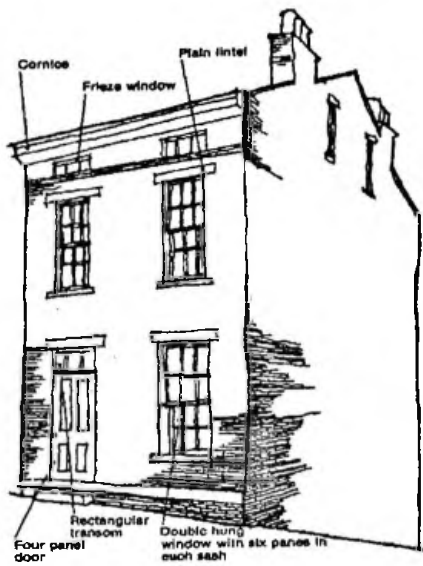
The history of the colonial townships and their architecture runs back to Portuguese occupation of the country 450 years ago. Yet only the Dutch built and modified by the British structures and British classical architecture's buildings are remaining today this represents an important phase in the modernization of the country and it is important to understand because buildings are often eclectic and combined the best elements of different styles. With the foreign occupation of the country the traditional system of building a house in the middle of a large piece of land with a garden changed. They created human habits in side their forts which are administrative centers with limited spaces. Therefore they resorted to grid-iron pattern with small living spaces all facing a road witch we call a façade a part of the streetscapes. This has been a radical change from old Sri Lankan style of building their dwellings.

This changed only existed until the colonial period ended with the end of the British rule and down of peace. But colonial influences with buildings build until post independence's period.

### **1.2.2 The historical growth of street architecture**

Throughout the western history, until the recent past, the façade's significance stemmed from its origins as the exterior face a house and home presented to the world. It had been not merely a respectable feature of a building but actually its most important external surface-literally, the face the owner turned to the world. This façade discharged a number of functions simultaneously. A side from the obvious task of weather protection, it was also the point of access and exit, as well as the main, if not only, wall with daylight and outlook. These purely functional aspects made the window and front door its dominated feature. But the façade had another and more portentous function: it served as encoded statement of the owner's image-its wealth ad status and artistic literacy. This would have been the same for any building, of any pretensions-urban or rural, town house or plantation. But the façade became critically important in the town house, especially in colonial urban neighborhoods, where the ubiquitous gridiron system of street layout produced lots with narrow frontages. Only the street intersections yielded corner lots with more than one frontage open to daylight, outlook, and public access. Under such circumstances, the façade achieved an enormous strategic impotence in communicating to the public and the world the owner's wealth, test, and up-to-datedness. (Figure 1.1)

Architecture and history are closely intertwined. Each period in the country's history has left its impression through building of architectural styles.



## Architectural Styles

### Classical Revival Style (1840-1860)

This category includes two different architectural styles -- Greek revival and Roman Revival. Both styles were based on a renewed interest in classical architecture, and admiration for ancient Greek ideals of democracy, which was especially fitting for the new American republic. The War of 1812 diminished American affection for British influences. The

Greek revival style was not widely used within the City of Lancaster, while the Roman Revival style is more common in civic buildings than residences. Characteristics include:

- symmetrical façades
- flat-headed entry doors flanked by pilasters, surrounded by sidelights and transoms
- square window lintels
- small attic "frieze" windows (instead of dormers)
- low pitched or flat roofs
- columned porches or "porticoes"

Figure 1.1

Country's history left impression through building of architectural styles



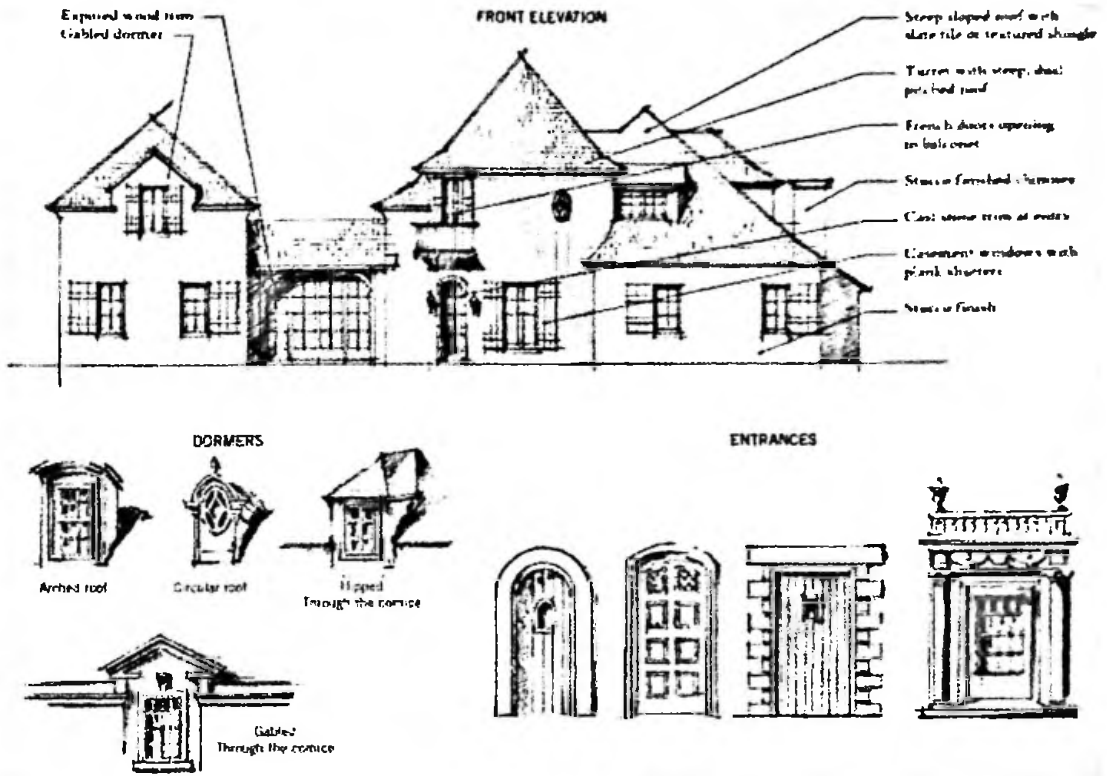
The forces which bring about architectural styles are many: technology, materials at hand, fashion trends, family needs, topography, climate, etc. However colonial neighborhoods are a product of that period that they mixed with their own social, cultural beliefs.

Only a handful of examples exist consisting of any pure architectural style. For the most part, the early builders incorporated different architectural elements in to structures according to their own personal whim or sense of beauty, without regard to any "standard" of design.

It is this characteristic, in fact, which adds a distinctive charm to colonial architecture and sets it apart as a unique feature of the country. (Figure 1.2)

This elaboration of the street façade for purely ideological polemics has a long and honorable history-stretching back to medieval Europe. "In the reconstruction of war-ravished old town in Warsaw, polish preservation architects were astonished to find that the burghers had repeatedly put new plaster façade on their old masonry town houses. Each façade had been remodeled in the then current vogue- renaissance, Baroque, rococo-some of them as close together as 60-70 years;" (6)

This elaboration of the entrance façade holds a critically important mean of communicating the status of the householder, has continued down into the present day, at least in the domain of popular culture, in the form of the picture window and the 2- or 3-car garage.



### Elements of French Country Style Homes

The European Old World vernacular reflects an architectural heritage inspired by the finest homes and styles based on European roots. Ranging from grand estates to unique cottages, appropriate European Old World homes may reflect the architectural styles of Spanish Colonial, Mediterranean, Italianate, Tuscan, European, French Country, and English Tudor.

Figure 1.2

It is important to understand because buildings are often eclectic and combined the best elements of different styles

The architecture with aesthetic characters of facades reflects each stage of the history with remarkable accuracy. The display of the architecture is the skeleton and outer garment is the aesthetic of the social body. This is reflecting the technical and economical level of the society. Throughout the history of aesthetics, a house that a man inhabits, the places and public buildings, temples, resting place etc. were reflective of the essential characters of man as social being; (Figure 1.3)

But recently the elaboration of the façade purely for purposes of display has become discredited. In more sophisticated circles because of its connotations of artificiality, two dimensionality, and vulgar display, it became regarded as a mask, which concealed not merely vanity but even dishonesty and mendacity.

People cared for their houses not merely as stronghold of safety and domestic wealth: they loved them for their architecture. Today we are heirs to a legacy of fine buildings and to continuing fascination with the details and stylistic which given out houses their character.

That interest in old houses has become something of national obsession. The desire to know and understand the history of our homes has never been stronger. We are, perhaps more than ever before, aware of the crucial importance of our great architectural traditions and the central position they occupy in what we have come to call our heritage.



1. A timber-framed town house. It is well built and has fairly large windows: indications of a comfortable but not an extraordinary house. (The frames contain 20th-century metal windows.) 13

2. A late 15th-century merchant's house with a jettied upper floor: a fashionable feature of town houses at this date. 13

3. Paycocke's in Coggeshall, Essex, is an elaborately fenestrated late 15th-century

house, with multibedded end windows on the upper story. 13

4. Two 15th-century timber-framed houses. The floor and several frames form an integral part of the structure. 13

Figure 1.3  
Facing of the street, become a special

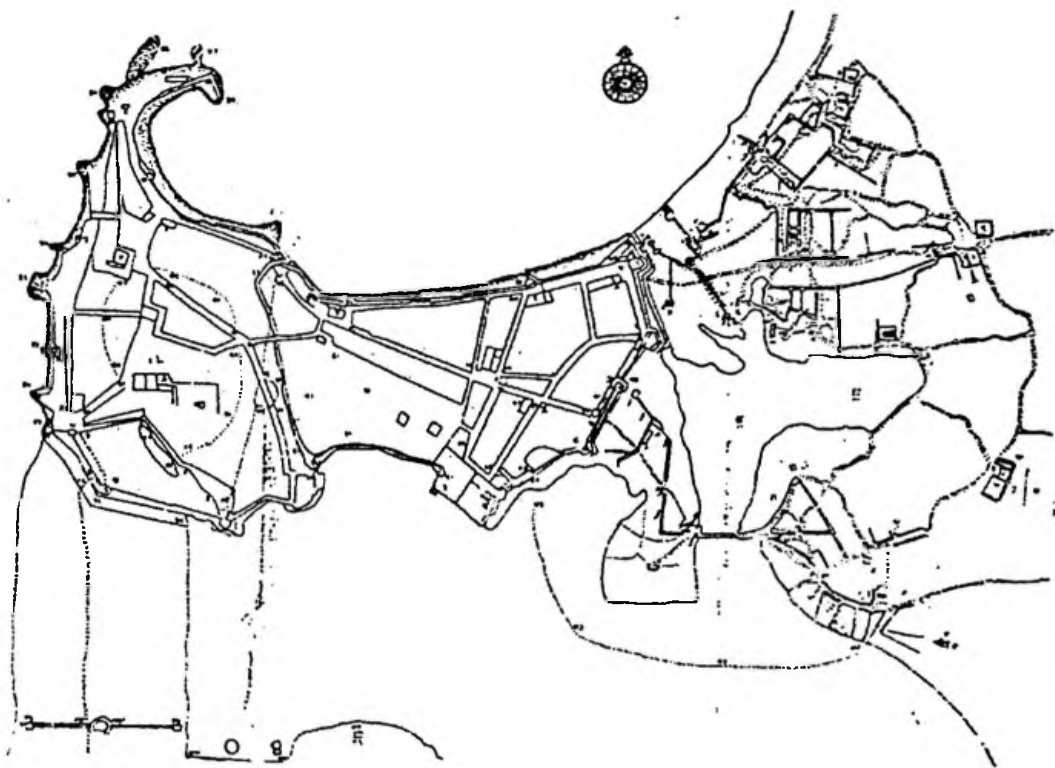
Today, those who value the best of the old in our heritage are convinced of its relevance to the new. But there is, it has to be said, a great deal that must be learned or re-learned.

In recent decades more modern tendencies have prevailed, and we have come perilously close to losing much of the rich vocabulary and even the grammar which gave our architectural language in previous ages its subtlety and fluent charm. What we need now is a return to visual literacy, an understanding of the all elements and details of the house as they have changed through five centuries. To promote such an understanding, which alone can be the only proper basis for conservation, restoration and sensitive design, is one of the main aims.

### **1.2.3 Colonial streetscapes of Slave Island**

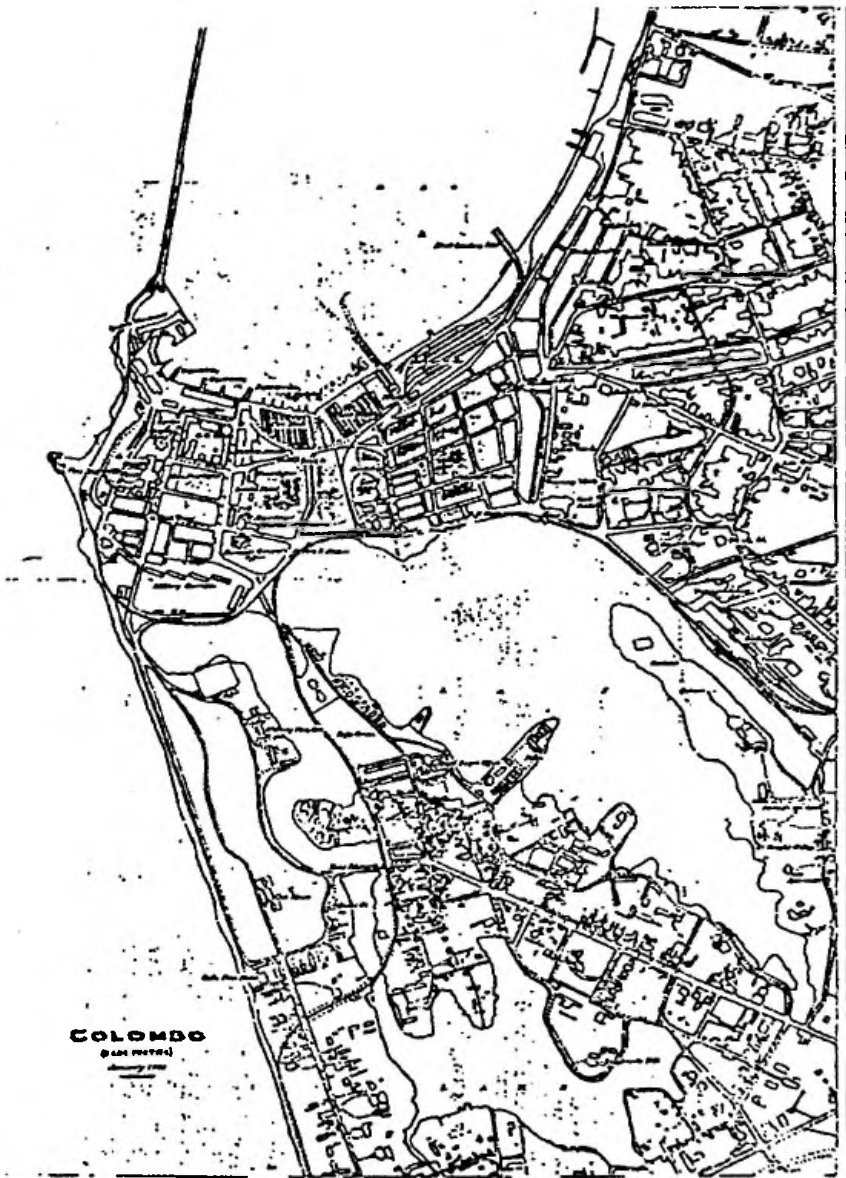
The slave island area has been developed as an addition to the Colombo fort area as the inside fort area got over crowded. This has happened in the British period. Several maps of that era evidence this fact. Through the era was populated even before the British period it got its prominence in the British era, where they built it with their grid-iron pattern and developed as a suburb. (Figure 1.4) (Figure 1.4a)

Slave island area in history was an open called "kaffirs veldt" surrounded by Beira Lake. The kaffirs were trafficked from the east coast of Africa by many nations. The Portuguese introduced Kaffir to Ceylon about the year 1630 from their settlement at Goa, on the coast of Malabar.



**During the Portuguese &  
Dutch period Colombo**

Figure 1.4  
No evidence to development of streetscape on Slave Island within  
Portuguese and Dutch period



**During the British period  
Colombo in 1901**

Figure 1.4a  
Development of the colonial streetscape in Slave Island

The Dutch drew largely on this pool of labor to work under their oversea when they set out to build the citadel at Colombo.

In the early years of 18<sup>th</sup> century the kaffir population of Colombo had grown in to large numbers and had their own strength. And later they conspired and murdered the fiscal and his wife, Barent vander Swam and his wife. Because of that they were taken into "kaffirs veldt" and put them in row houses and shanties. And it was called "**Slave Island**"

During the British era the lake edge of Salve Island was used for various recreational activities and in the early period it was the center of commercial life as well as leisure resort. Those days areas near the lake were with greenery. Foot paths and sepes for children to play, today these sites no longer exist due to change in land use which took place over the years. The slave island had always been neglected compared to its neighboring areas.

Historical Maps of Portuguese, Dutch and British period express the development of fort and pettah areas in relation to slave island area. During the Portuguese period historical accounts refer to a fortified city, populated by 21400 families, while on the outside there lived some 300 Portuguese, who had intermarried with local population. Gradually within the ring of the fort's ramparts arose churches, colleges, hospitals, elegant villas occupied by high officials. During the Dutch siege against the Portuguese, the fortified city was reduced to rubble by the



Dutch cannonade. And they reduce the fort to the present size now occupied by Colombo fort. The fort was separated from the residential pettah. The slaves who worked on new fort were housed in lines of buildings outside the fort across the lake on a peninsula. This area was known as "Slave Island"

As the population inside the fort grew the need arose to have sub urban area where the burgeoning population can be accommodated. Slave Island was a perfect solution for this purpose.

They developed the area into suburb with the grid-iron pattern. Slave island area represents both British and post independence architecture which is simple and different from the fort. Majority of the buildings are single storied buildings with ground floor shop space and upper floor residence. Yet the main feature of this streetscape is vanishing with the modern development.

#### **a. Present character**

Historically, most identified neighborhoods incorporate certain traditional elements which over decades have served both an aesthetic and functional purposes. In the present, the most characteristic store front designs are those which properly utilized and worked within those elements, and contribute to the overall appearance of the town. Well designed facades will both work within the aesthetic unity of the building, and still reflect the individual characters and personality of the business.

The overall goal of these guide lines is to preserve the traditional characters of Slave Island, while respecting the verity of historical architectural decorative facades and represent their colonial identity.

The structural frame- in the overall building design, each individual store front is generally inserted within an encompassing frame, which provides the common structural and designed elements linking together each storefront façade. The frame includes dividing piers, columns or pilaster and a storefront cornice or parapet. These elements could be constructed of brick, stone, cast stone, concrete, or wood.

The lower part has the storefront(s) which have large open with entry way, frequently with en framing piers and a store front frieze and cornice. Large buildings may have several storefronts. The visual openness of the storefront is a key element in the overall character of the façade.

The middle parts is usually brick, cast stone, or stone and typically has regularly spaced window openings. And the proportion of window to wall area in the traditional facades calls more openings and fewer walls at the storefront, balanced by more walls and less window on the upper parts. (Figure 1.5)

The historical background which gives a colonial character to the area makes it easily identifiable as a district. Its grid layout pattern of roads organizes the built firms as well as the urban spaces. Streets are well defined with buildings in most cases.

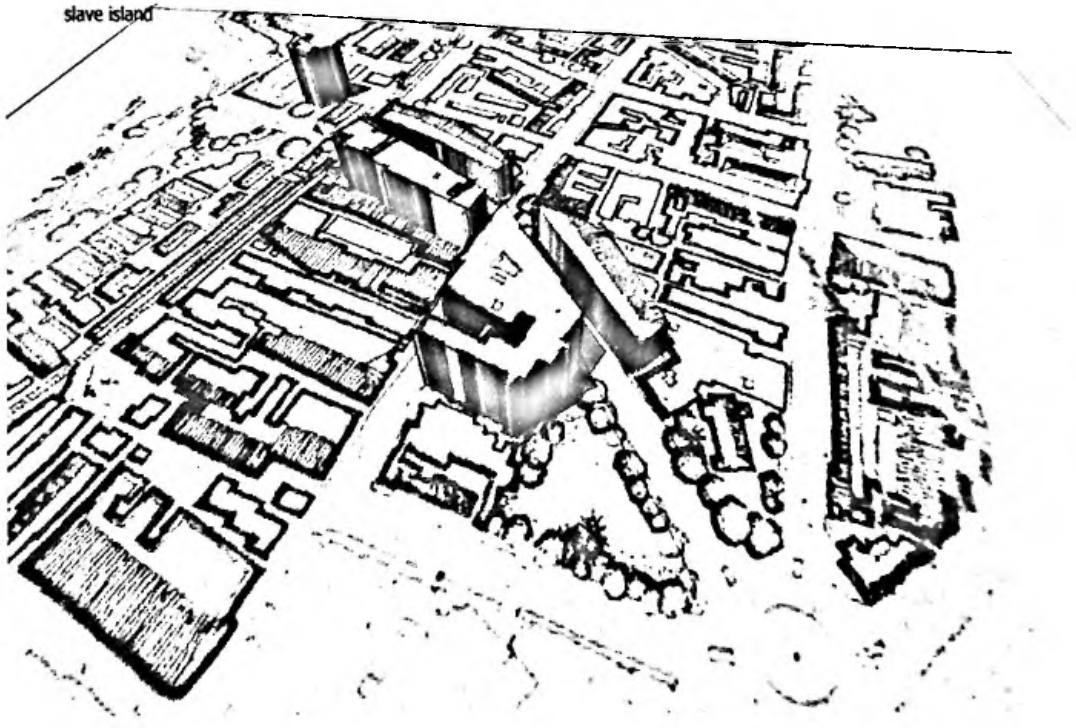


Figure 1.5  
Grid-iron Street Pattern with buildings, representing colonial street architecture. Facing of the street become special

The plots allocated to various purposes such as large plots for commercial purposes and residential plots which are small but dense make up the Slave Island area. Even though dense in population, most of the buildings are of low-rise nature. The skyline is not uniform as the height of buildings varies from single storey to two storey structures. The façade treatment in some buildings binds the buildings as one group presenting solid and void patterns with rich detailing and grand continuous arcades. They are mostly of brick or stone masonry constructions and most commonly painted white. Hipped or gable roofs are hidden by detailed cornices. These entire physical characteristics of a building create an architectural homogeneity which results in a common character differentiating the slave island as a separate district.

However the partially constructed buildings are an eyesore. These buildings are to be treated individually to uplift the physical character of the Slave Island area. Pavements are broken in many places hindering the free movement of pedestrians.

## **B. Relationship to landscape**

This means the appearance of the area as seen in the setting. The fundamental factor of the identity of a town is its size. This size appears as a collection of buildings in relation to the surrounding.

Here the buildings are huddled together giving mass connection to urban side above their roofs cape. (Figure 1.6)

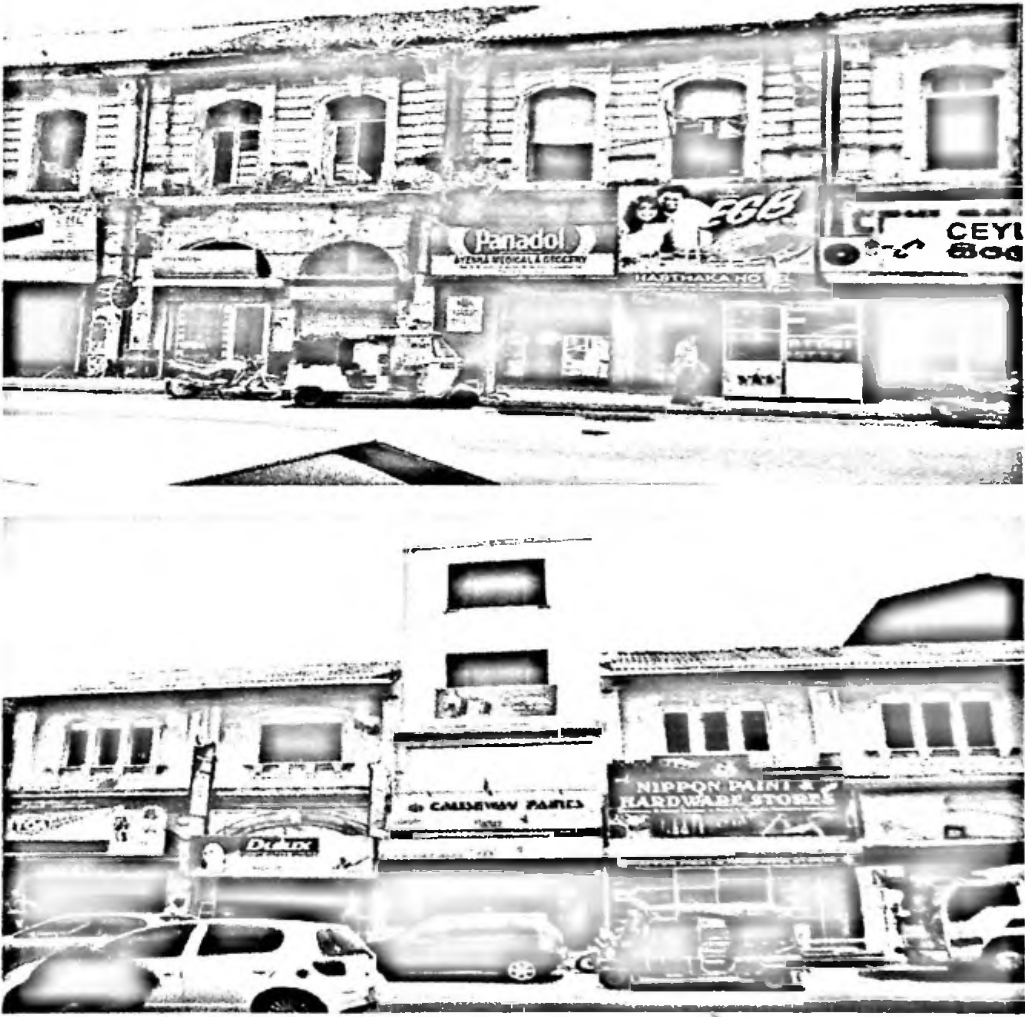


Figure 1.6



Figure 1.6  
Historically, most identified neighborhoods incorporate certain traditional elements with over decades have served both an aesthetic and functional purposes.



Figure 1.6  
Historically, most traditional elements  
and functional outcomes

The particular features related to these area are especially the grid layout pattern of roads organize the built forms as well as the urban spaces. The character of the streetscape retains its individuality in changing from urban to clusters through the visual relationship. (Figure 1.7) therefore the change from one to the other is so natural and gradual. Slave Island area in its setting, as for the first urban area centre reveals its colonial (colonized) impertinence. "Buildings should respond to the scale of their site and to the rigors of the elements." (7)

"The human mind reacts to a contrast, to the difference between things, and when two pictures..... Are in the mind at the same time, a vivid contrast is felt and the town becomes visible in a deeper sense..... Unless this happens the town will slip past us featureless and inert." (8)





Figure 1.7

Relation to the landscape, the buildings are huddled together giving mass connection to urban side above their roofs

### **C. general characters of building facades**

In creating a general harmony the appearance of the buildings in relation to each other is apparent. While passing from the neighborhoods to shops, a slight increase in the scale is visible. And sometimes the scale is increased with new constructions. And also a transition from single storey to two storey structures can be seen in the middle. Their frontage seem regular in proportion. The shape and the appearance of the buildings were affected by their construction in bricks. Some buildings lagged behind, retaining their character; other developed a mixture of styles.

#### **1.2.4 Justice Akbar mawatha in Slave Island**

Justice Akbar mawatha in Slave Island still has several buildings with colonial influences and their facades sounds are in poor condition. With British colonial streetscape and architecture and they are patterned in grid-iron system.

The historical background which gives a colonial character to the area makes it easily identifiable as a district. Its grid layout pattern of roads organizes the built forms as well as the urban space. Streets are well defined with buildings in most cases. The skyline is not uniform as the height of buildings varies from single storey to two storey structures.

The façade treatment in some buildings binds the buildings as one group presenting solid and void patterns with rich detailing and grand continuous arcades.

They are mostly of brick or stone masonry constructions and most commonly painted white. Hyped or gable roofs are hidden by detailed cornices. These entire physical characteristic of a building create an architectural homogeneity which results in a common character differentiating the slave island as a separate district. (Figure 1.8)

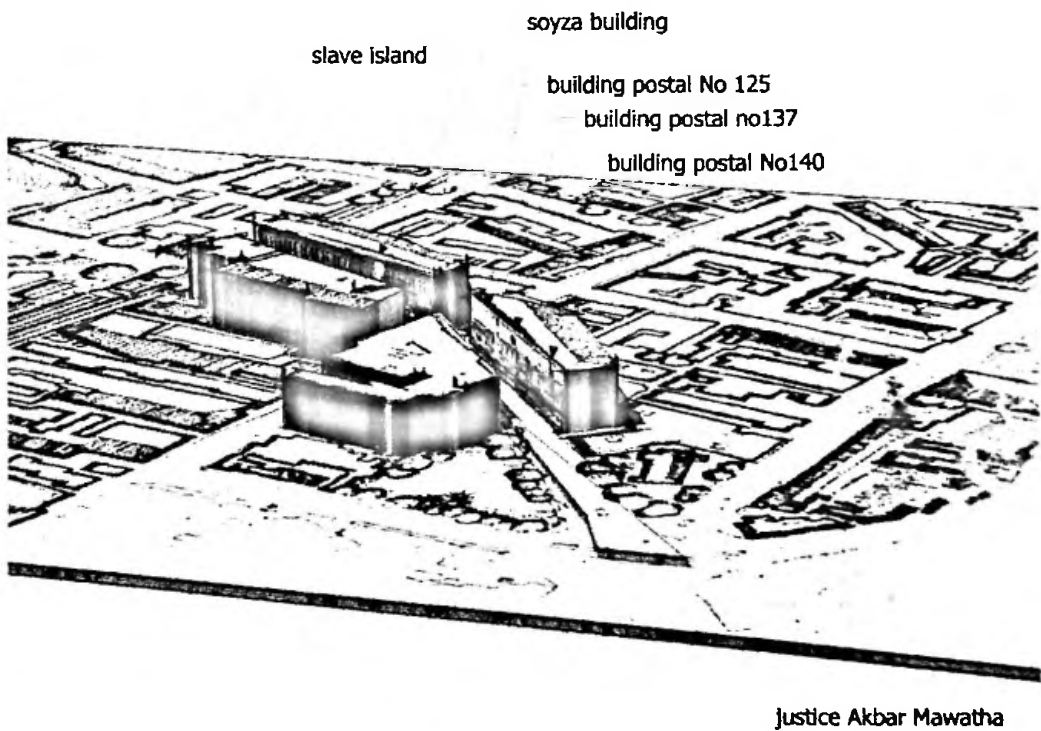


Figure 1.8

Justice Akbar mawatha, it's a most significant colonial streetscape.

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## Chapter two

### 2. Examination of historic buildings in streetscape of Slave Island -case study

The main elements of streetscapes are street furniture, street landscape and building façade. Most of the cities where they have given priority to architectural conservation most of the above elements can be seen intact. (Figure 2.1) Slave Island first emerged as a suburb in the British colonial era and gradually developed into a busy township and in the process it lost most of its grandeur and today only the façade stands. Thus, when identifying the causes of decay we were compelled to restrain to its façade. (Figure 2.2)



Figure 2.1

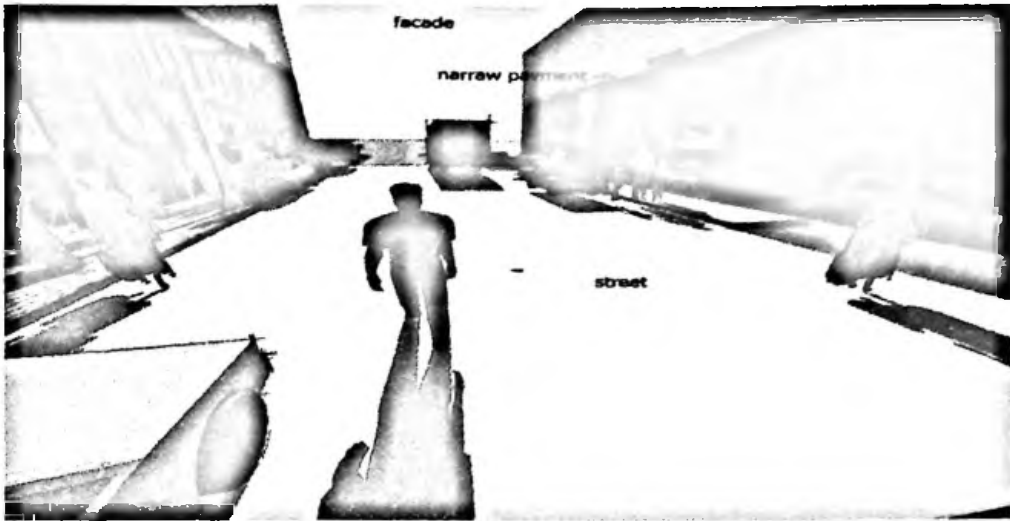
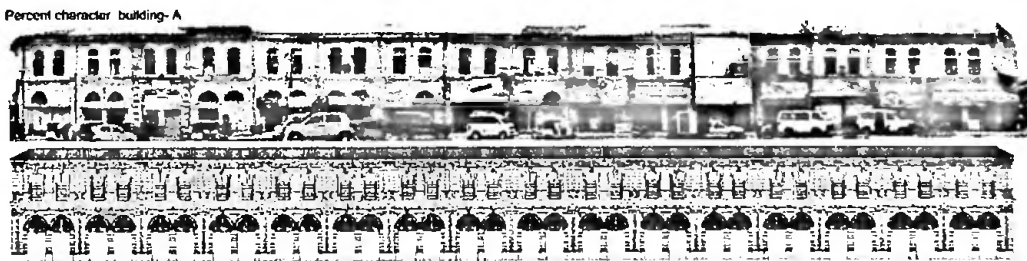


Figure 2.2

## 2.1 Soyza building



### Building form

The building that we have selected to our study namely "soyza building" has a horizontal rectangle shape with the middle part projecting symmetrically. (Figure 2.3) (Figure 2.4) The building by the outlook of form seems strong yet a close inspection may reveal that it's actually very poor in strength. The cracks in the walls are proof to that.

There are major cracks in some parts of the building due to the growth of Bo sapling and their roots create a greater impact on the façade and even to the structural part of the building.

The building has been additionally modified from its historical glory using steel canopies and roller doors which obstruct its historical building form.

The openings here dominate the visual charter of this building because of its size, shape, location, materials, and craftsmanship. Because its relation to pavement, these opening place a strong emphasis on the principle entry to the building

Possible causes of structural damage to a building form include intrinsic causes such as improper design or setting and poor construction and extrinsic causes such as application of lodes that the building was not designed to carry and the changers in its surroundings. (Figure 2.5)

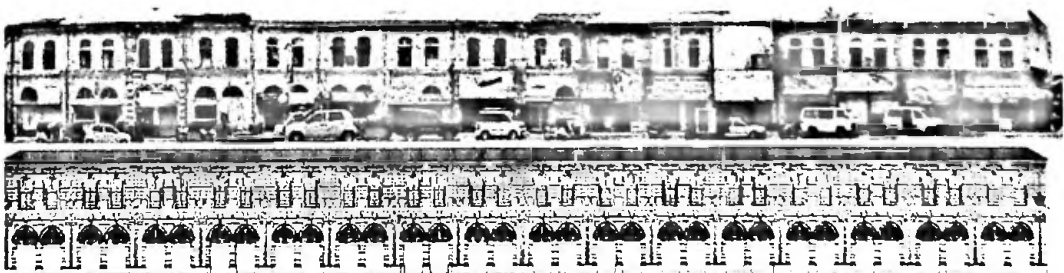


Figure 2.3

Historical building form still remaining with poor strength.



Figure 2.4

Has been modified, historical building form using modern materials.



Figure 2.5

Cracked wall caused by uneven settlement in the foundation of the building, and deformation of the building



## **Roof**

The roof of the building is finished with asbestos roofing sheet and half round tile and 75% newly constructed, yet historical roof form is still present with poor maintenance. It's down pipes and gutters are also in very poor condition, leaking the flowing water into wall crevices making base ground for various plants. The parapet wall is in a bad condition due to collection of water between the parapet wall and the roof.

It is especially important to verify that downspouts are functioning properly, if they are broken or corroded, materials in the walls may reach advanced stages of deterioration before any trouble is suspected.

Most of the windows are closed permanently and they are not in use. Further the historical form of these windows has been subjected to change. Since the eave of the roof is shorter, to protect the inside from the harsh sunlight and rain, steel canopies have been affixed.

The roof not highly visible, it doesn't have other features and it also has charm parapet wall with little decorative features. (Figure 2.6) (Figure 2.7) (Figure 2.7a)

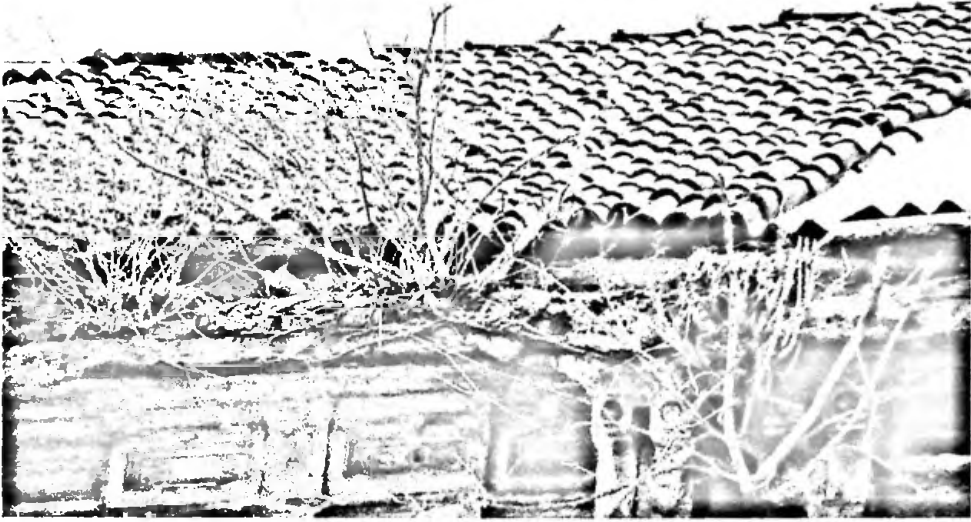


Figure 2.6

In the short term, the result of this action on piece of stone is loss of form, rounded edges, and a crumbly surface texture; in the long term, the element disintegrates



Figure 2.7

Historical roof with mordent roofing sheet, also it's down pipes and gutters are also in very poor condition, leaking the flowing water into wall crevices making base ground for various plants

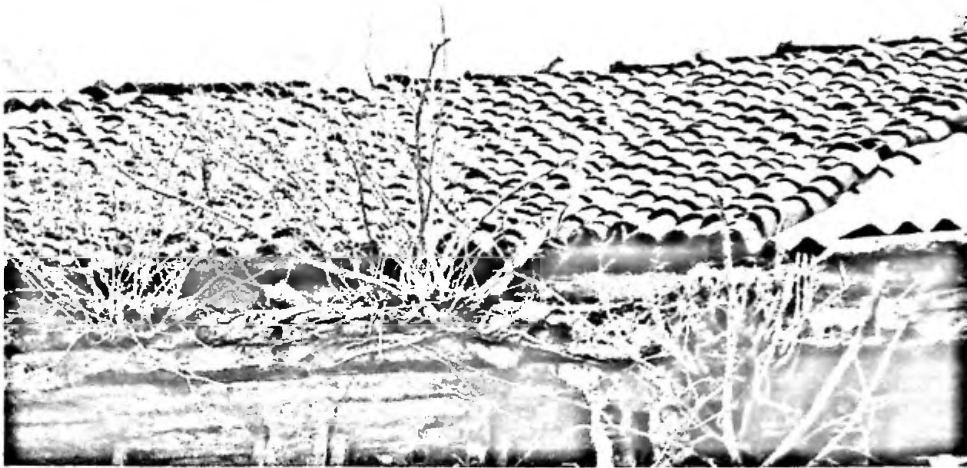


Figure 2.7a

Yet historical roof form is still present with poor maintenance

## **Façade**

The façade of the building is identifiable from its horizontal band of archers in the base and another horizontal band of window on the upper floor. Historical decorations are still remaining with poor maintenance while some are damaged due to hanging of signage of the present occupants.

Most of the front decoration plaster is scaling due to poor maintenance while in some extreme instance the total plasters have been peeled exposing the bricks in side.

Most of the façade decorations of this building have been dropped from the surface. Further, some points have been repaired removing the decoration.

These steps have hastened the destruction of the historical decorations and the evidences of this building.

Further, due to the mismatch in plaster compound that has been used for these repairs and the historical plaster, the remaining historical plaster is in danger of falling off

The ground floor symmetrical archers are placed as main entrance and upper floor windows are with sills. The façade is covered by signboards of present occupants and different types of canopies have been installed. While most of the down pipes have been corroded which is a results of growing plants in thru, this has results in walls being cracked from some places. Due to the bad organization with eclectic, telephone connection, result of walls being complicated and damaged. To remedy these decayed walls some occupants have resorted to using modern decorative solutions such as aluminum, glass panels and claddings. Hence, the original façade of the building has been obstructed. (Figure 2.8) (Figure 2.8a) (Figure 2.8b) (Figure 2.8c) (Figure 2.8d)

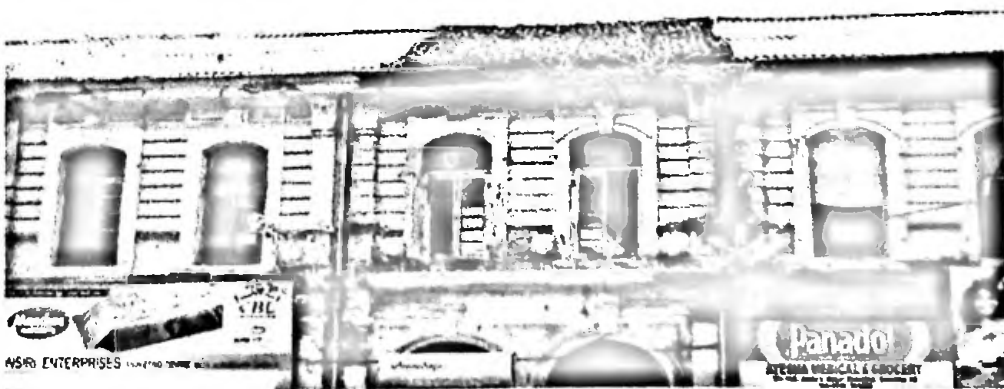


Figure 2.8

If trees cover a wall, the actual wall surface cannot be observed, thus inspection is difficult and routine maintenance may not be performed.



Figure 2.8a.

The presence of efflorescence on a wall shows the places where water is living the building and may indicate that excessive water is entering the wall at other locations

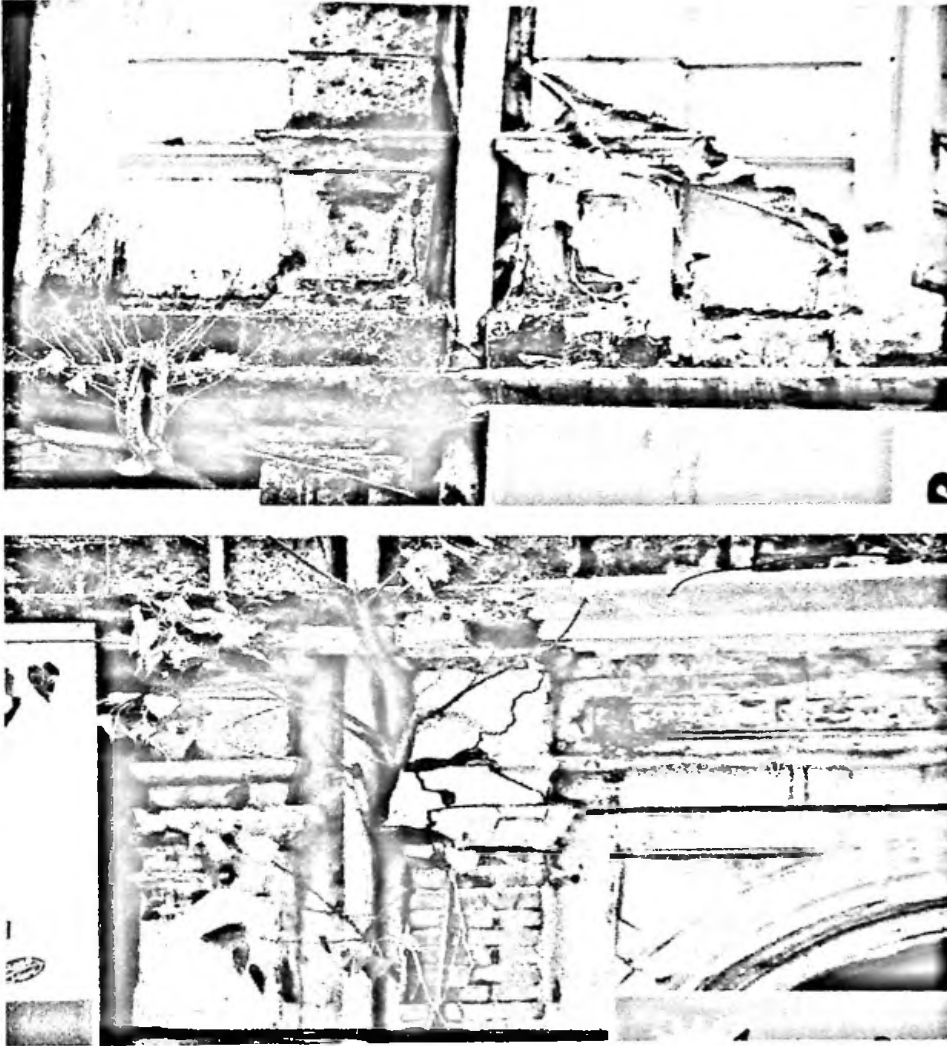


Figure 2.8b

While most of the down pipes have been corroded which is a results of growing plants in thru, this has results in walls being cracked from some places and exposing internal brick work also.



Figure 2.8c



Figure 2.8d

Due to the poor maintenance system and incorrect repairing methods, result of walls being vanishing historical decorations. And also totally obstruct on historical façade due to the hanging large size sings.

## Floor

The original floor has been fully demolished and newly finished with colored cement and still the floor is in a bad condition with cracks and it's uneven.

What is notable is that different occupants have used various materials to finish the floor according to their taste and the uniformity of the floor is not present. Further the gap between the floor and the pavement is very low, upper residential areas floor is not in a condition to house resident. (Figure 2.9)



Figure 2.9



## Doors and windows

Symmetrical arches of the ground floor are being used as entrance for shops after modifying them with different types of doors such as roller doors, collapsible doors, aluminum and wooden doors. There are no evidences historical entrance ways, upper floor windows are present in the historical form yet they have been weathered and not in a useable condition. Some windows are with different types of canopies without uniformity. (Figure 2.10) (Figure 2.10a)



Figure 2.10



Figure 2.10a

## 2.2 building-postal No 125



### Building form

The building that we have secondly selected to our study namely postal No 125 has a horizontal rectangle shape with the middle part projecting symmetrically. The building with steel structures, by the outlook of form seems strong yet a close inspection may reveal that it's actually very poor in strength. The cracks in the walls are proof to that. But historical building form is still identifying. From the large view the building seems a bulgy shape.

There are major cracks in some parts of the building due to the growth of trees sapling and their roots create a greater impact on the façade and even to the structural part of the building. Steel structures building, most of the steel beams are exposing to air, and corroded. Cracking is by far the most of commonly observed form of concrete deterioration. Cracks can differ in location, pattern, width, and length. Most of concrete will experience cracking in its lifetime. The cause of the cracking should be indentified to help determine the appropriate repair.

Possible causes of structural damage to a building form include intrinsic causes such as improper design or setting and poor construction and extrinsic causes such as application of loads that the building was not designed to carry and the changes in its surroundings.

Most of the windows are closed permanently and they are not in use. Further the historical form of these windows has been subjected to change.

The Up stair balcony with bulgy shape due to main steel beams with poor strength and Most of the Reinforced steel beams with cement plaster layers are with scaling condition. (Figure 2.11) (Figure 2.11a)



Figure 2.11



Figure 2.11a

If movement occurs because of this failure, cracks may open and further deterioration occurs. Steel, concrete, and brick masonry have different thermal coefficients; they change dimensions at different rates with fluctuating temperature. Up stair balcony with bulgy shape due to main steel beams with poor strength and Most of the Reinforced steel beams with cement plaster layers are with scaling condition.

## Roof

The roof of the building is finished with Calicut tile and, yet historical roof form is still present with poor maintenance and poor strength. It's down pipes and gutters are also in very poor condition, leaking the flowing water into wall crevices making base ground for various plants. The wall is in a bad condition due to collection of water due to the corroded gutters. It is especially important to verify that downspouts are functioning properly, if they are broken or corroded, materials in the walls may reach advanced stages of deterioration before any trouble is suspected.

Right side of the roof are highly dilapidated and exposed to rain water and Gutters are not maintained, also parts are missing.

Due to poor drain system making base ground for various plants.  
(Figure 2.12)



Figure 2.12

Right side of the roof are highly dilapidated and exposed to rain water and Gutters are not maintained, also parts are missing. Due to poor drain system making base ground for various plants. The roof of the building is finished with Calicut tile and, yet historical roof form is still present with poor maintenance and poor strength. It's down pipes and gutters are also in very poor condition.

### **Façade**

The façade of the building is identifiable form its horizontal band of archers in the base and another horizontal band of window on the upper floor. Historical decorations are still remaining with poor maintenance while some are damaged due to hanging of

signage of the present occupants. Most of the front decoration plaster is scaling due to poor maintenance.

The ground floor symmetrical archers are placed as main entrance and upper floor windows are open to balcony as door windows. The façade is covered by signboards of present occupants. While most of the down

Pipes have been corroded which is a results of growing plants in thru, this has results in walls being cracked from some places. To remedy these decayed walls some occupants have resorted to using modern decorative solutions such as aluminum, glass panels and claddings. Hence, the original façade of the building has been obstructed.

The upper floor big balcony with the dilapidated condition and balcony railing is totally destroyed and no evidences about the historical balcony, for the security reason balcony covered from the G I sheets. Small cement cast decorations are percent but with the scaling condition.

Most of the decorations are damaged and peeling of due to the hanging of the signage. (Figure 2.13) (Figure 2.14)



Figure 2.13

Small cement cast decorations are percent but with the scaling condition. Most of the decorations are damaged and peeling of due to the hanging of the signage



Figure 2.14

Most of the façade decorations of this building have been dropped from the surface. Further, some points have been repaired removing the decoration. These steps have hastened the destruction of the historical decorations and the evidences of this building.

Further, due to the mismatch in plaster compound that has been used for these repairs and the historical plaster, the remaining historical plaster is in danger of falling off.



## **Floor**

Upper floor not with the good condition, soffit with the scaling condition also some pilaster sections are missing and reinforced steels are exposed.

The original floor has been fully demolished and newly finished with colored cement and still the floor is in a bad condition with cracks and it's uneven. What is notable is that different occupants have used various materials to finish the floor according to their taste and the uniformity of the floor is not present.

Further the gap between the floor and the pavement is very low, upper residential areas floor is not in a condition to house resident.

## **Doors and windows**

Symmetrical square open of the ground floor are being used as entrance for shops after modifying them with different types of doors such as roller doors, collapsible doors, aluminum and wooden doors. Top of the doors small horizontal center pivoted windows are present

There are no evidences historical entrance ways, upper floor windows are present in the historical form yet they have been weathered and not in a useable condition. (Figure 2.15)



Figure 2.15

## 2.3 building-postal No 140



### Building form

The building that we have thirdly selected to our study namely postal No 140 has a horizontal rectangle shape with the middle part projecting symmetrically. The building by the outlook of form seems strong.

The building has been additionally modified from its historical glory using steel canopies and roller doors which totally obstruct its historical building form and also commercial signage's.

Possible causes of structural damage to a building form include intrinsic causes such as improper design or setting and poor construction and extrinsic causes such as application of loads that the building was not designed to carry and the changers in its surroundings. (Figure 2.16) (Figure 2.16a) (Figure 2.16b)



Figure 2.16

The historical building form outlook of from seems strong, but more modifications are available due to the owners commercial trends and Owners are not concerning about the historical building, only the concerning for business.

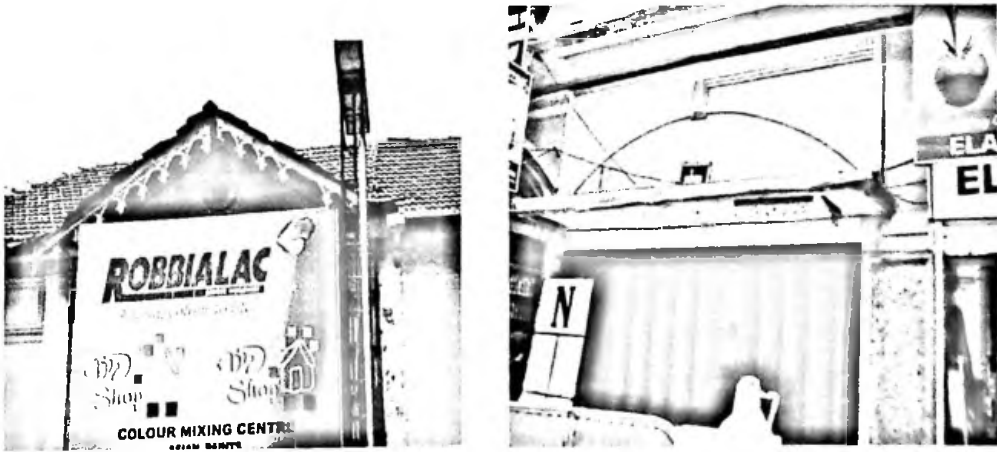


Figure 2.16a

Large signs and newly modified steel doors are obstructing building form also front elevation.

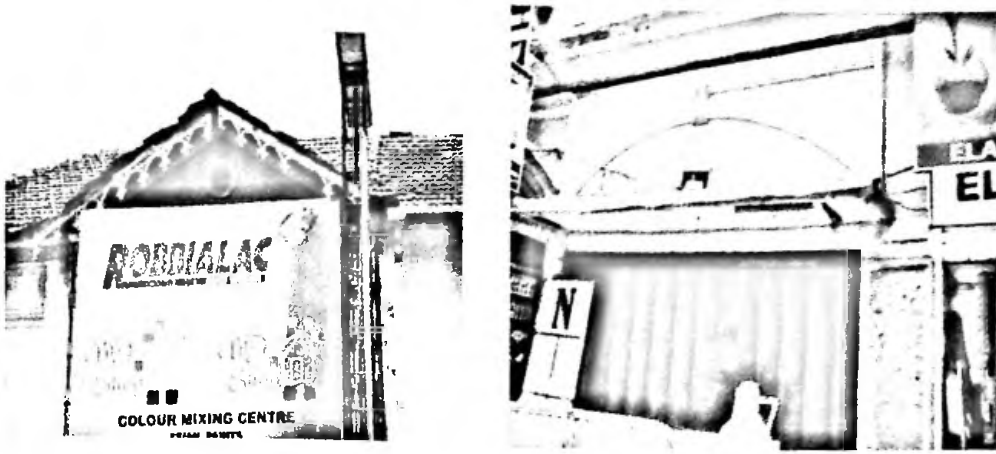


Figure 2.16a

Large signs and newly modified steel doors are obstructing building form also front elevation.

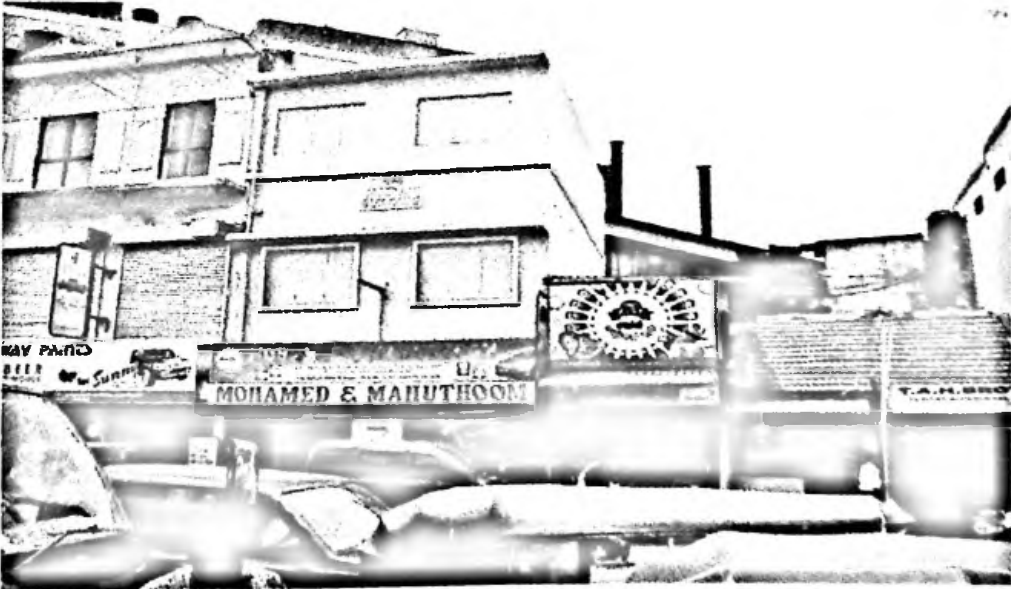


Figure 2.16b

Due to the heavy traffic conjunction, historical buildings were not designed to absorbing changers in its surrounding.

## Roof

The roof of the building is finished with Calicut roofing tile and totally newly constructed, yet historical roof form is still present with normal maintenance. It's down pipes and gutters are also in normal condition, leaking the flowing water into wall crevices making base ground for various plants. The parapet wall is in a bad condition due to collection of water between the parapet wall and the roof. It is especially important to verify that downspouts are functioning properly, if they are broken or corroded, materials in the walls may reach advanced stages of deterioration before any trouble is suspected.

The modern signs that they have been using are disturbing the whole environment. Further, in one instance, the parapet wall of a building has completely been removed by the residents due to safety concerns. The parapet wall provides a haven for thieves to hide in as believe by the residents.

Compared with the soyza building, roof eave is sufficient level. And decorated valence board is present and also Repairing and maintenance are in sufficient level. (Figure 2.17) (Figure 2.17a)

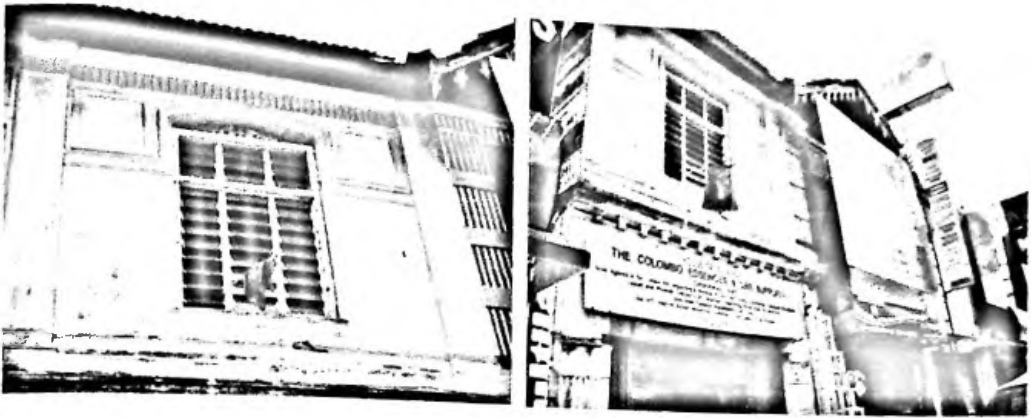


Figure 2.17a

The presence of efflorescence on a wall shows the places where water is living the building and may indicate that excessive water is entering the wall at other locations.

### **Façade**

The façade of the building is identifiable from its horizontal band of arches in the base and another horizontal band of window on the upper floor. Historical decorations are still remaining with poor maintenance while some are damaged due to hanging of signage of the present occupants. Most of the front decoration plaster is scaling due to poor maintenance.

The ground floor symmetrical arches are placed as main entrance and upper floor windows are open to street. The façade is covered by signboards of present occupants. To remedy these decayed walls some occupants have resorted to using modern decorative solutions such as aluminum, glass panels and claddings. Hence, the original façade of the building has been obstructed.

Small cement cast decorations are percent but with the scaling condition. Most of the decorations are damaged and peeling of due to the hanging of the signage. (Figure 2.18)



Figure 2.18

## Floor

The original floor has been fully demolished and newly finished with colored cement and floor tile still the floor is in a bad condition with cracks and it's uneven.



What is notable is that different occupants have used various materials to finish the Floor according to their taste and the uniformity of the floor is not present.

Further the gap between the floor and the pavement is very low, upper residential areas floor is not in a condition to house resident. Upper floor wooden structures with cement floor and they used as storage. (Figure 2.19)

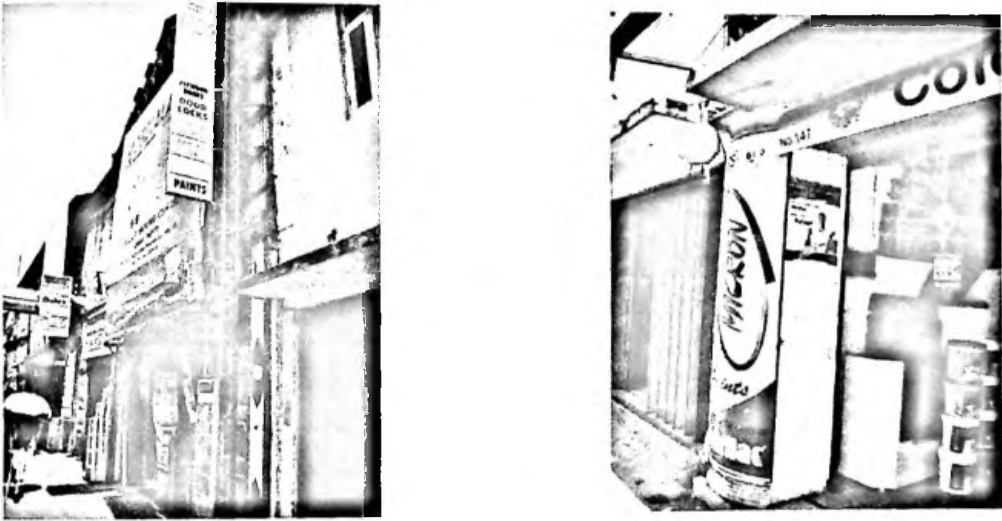


Figure 2.19

### **Doors and windows**

Symmetrical arches of the ground floor are being used as entrance for shops after modifying them with different types of doors such as roller doors, collapsible doors, aluminum and wooden doors. There are no evidences historical entrance ways, upper floor windows are present in the historical form yet they have been weathered and not in a useable condition.

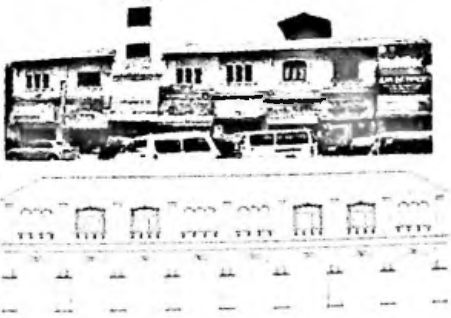
The windows decorations are still remaining. Upper floor Windows with the three slashes and windows with the two patterns and used as an each other. (Figure 2.20)



Figure 2.20

## 2.4 building-postal No 137

### Building form



### Building form

The building that we have fourthly selected to our study namely postal No 137 has a horizontal rectangle shape with the middle part projecting symmetrically. The building by the outlook of form seems strong.







## Roof

The roof of the building is finished with asbestos roofing sheet and totally newly constructed, yet historical roof form is still identifying with normal maintenance. Historical roof is totally destroyed due to newly constructed upper level asbestos roof,

The modern signs that they have been using are disturbing the whole environment. Further, in one instance, the parapet wall of a building has completely been removed by the residents due to safety concerns. The parapet wall provides a haven for thieves to hide in as believe by the residents. Compared with the soyza building, roof eave is sufficient level. And also Repairing and maintenance are in sufficient level. It's down pipes and gutters are not installing. (Figure 2.22)

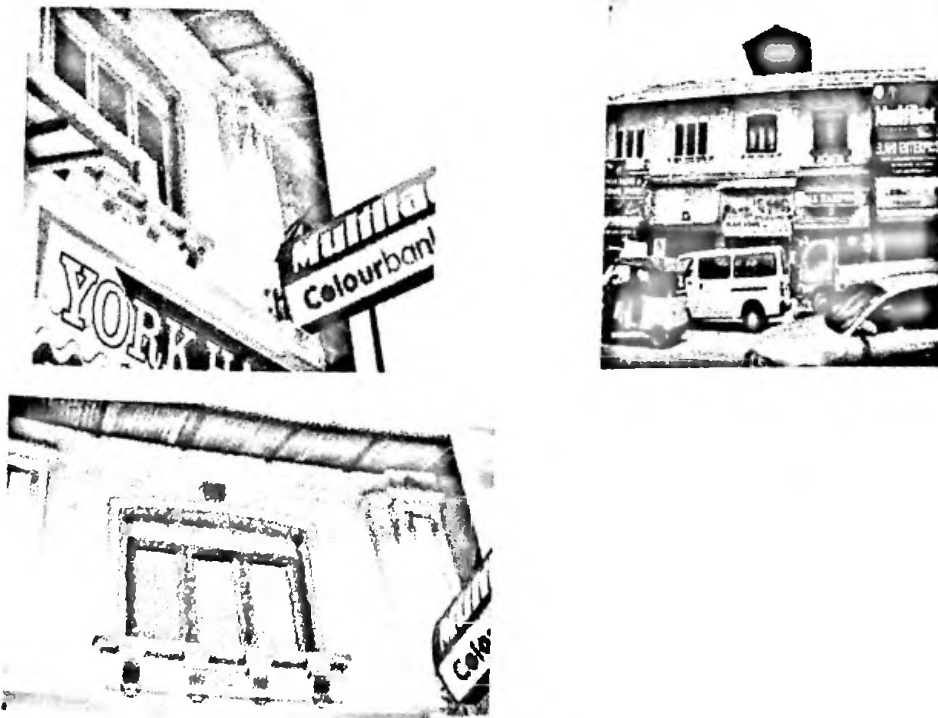


Figure 2.22



## **Façade**

The façade of the building is identifiable from its horizontal band of archers in the base and another horizontal band of window on the upper floor. Historical decorations are still remaining with poor maintenance while some are damaged due to hanging of signage of the present occupants.

The ground floor symmetrical archers are placed as main entrance and upper floor windows are open to street. The façade is covered by signboards of present occupants.

To remedy these decayed walls some occupants have resorted to using modern decorative solutions such as aluminum, glass panels and claddings. Hence, the original façade of the building has been obstructed.

Small cement cast decorations are present but with the scaling condition. Most of the decorations are damaged and peeling off due to the hanging of the signage.

Most of the front decoration plaster is scaling due to poor maintenance while in some extreme instance the total plasters have been peeled exposing the bricks in side. Decorative window's frames and Symmetrical decorative pillars are remaining (Figure 2.23)







Figure 2.23

Most of the front decoration plaster is scaling due to poor maintenance while in some extreme instance the total plasters have been peeled exposing the bricks in side

## Floor

The original floor has been fully demolished and newly finished with colored cement and floor tile still the floor is in a bad condition with cracks and it's uneven. What is notable is that different occupants have used various materials to finish the floor according to their taste and the uniformity of the floor is not present.



Further the gap between the floor and the pavement is very low, upper residential areas floor is not in a condition to house resident. Upper floor wooden structures with cement floor and they used as storage. (Figure 2.24)



Figure 2.24

### **Doors and windows**

Symmetrical arches of the ground floor are being used as entrance for shops after modifying them with different types of doors such as roller doors, collapsible doors, aluminum and wooden doors.

There are no evidences historical entrance ways, upper floor windows are present in the historical form yet they have been weathered and not in a useable condition. The windows decorations are still remaining.



Upper floor Windows with the three slashes and windows with the two patterns and used as an each other. There are different types of doors in the ground floor of these buildings. The owners have installed doors to suit the businesses that they are doing. (Figure 2.25)



Figure 2.25

There are different types of doors in the ground floor of these buildings. The owners have installed doors to suit the businesses that they are doing.

Upper floor Windows with the three slashes and windows with the two patterns and used as an each other. There are different types of doors in the ground floor of these buildings. The owners have installed doors to suit the businesses that they are doing. (Figure 2.25)



Figure 2.25

There are different types of doors in the ground floor of these buildings. The owners have installed doors to suit the businesses that they are doing.

There are no evidences historical entrance ways, upper floor windows are present in the historical form yet they have been weathered and not in a useable condition. The windows decorations are still remaining.

A close study can reveal some important evidences of their door and window styles. Those evidences should be identified and they should be changed to suit the present usage of the buildings, since these buildings must have not meant for the present usage when originally built



## **Chapter three**

### **Proposal for preservation of streetscape of Slave Island**

#### **3.1 identification of in courses of decay streetscape in Slave Island**

##### **Natural causes**

Due to the upper floor has been abandoned this area is home to various kinds of birds, Among the more annoying causes of biological decay in cities are pigeons, the dropping also contain organic acids, which are nutrient for other organisms such as fungi and plants.

Since the eave of the roof is shorter, to open the inside from the harsh sunlight and rain, the presence of efflorescence on a wall shows the places where water is living the building and may indicate that excessive water is entering the wall at other locations.

Their presence (black mark) on a building is a good indication that there is too much water on or in the wall. Some bacteria stimulated or accelerate chemical decay process because they hold moisture on the wall or steel, and from acidic metabolic products. There are five major ways water can enter a wall, in can enter from the ground or other constant source of moisture and rise by capillary action, in process called rising damp. If movement occurs

Because of this failure, cracks may open and further deterioration occurs. Steel, concrete and brick masonry have different thermal coefficient, they change dimensions at different rates with fluctuating temperature

### **Environmental causes**

Due to wind and rain the down pipes and gutters of this building have deteriorated. Since it's a little close to the sea the wind carries salt particles which have quickened the process.

Due to the High traffic congestion, vibration of the buildings and Non availability of parking places and parking along the streets. Hi density in the ward 600 people/hectare. Pavement hawkers disturb the pedestrians.

The occupants of these buildings too face the competition and they should be facilitated to advertise their business to ensure the survival of both occupants and the buildings.

Due to the wide from the sea, the pore façade can also broken down by crystal restructuring when some salts, such as sulfates, change their crystalline structure with changes in temperature and humidity.

### **Manmade causes**

When compared with the other buildings, the soyza building's upper floor wall and windows have been weathered due to the shorter eave of the roof.

The damaged gutters have seeped rain water into cracks in the walls and these have made a haven for various kinds of trees.

Façade decorations of all these buildings are intact in a recognizable level. These buildings are in a very vulnerable condition that the occupants have changed the decorations/Façade plaster according to their whim. Most of the façade decorations of this building have been dropped from the surface further, due to the mismatch in plaster compound that has been used for these repairs and the historical plaster, the remaining historical plaster is in danger of falling off.

Due to the multiply Ownership, they are not concerning about the building and historical value. The tenants lived in this building for more than 80 years but not undertaken any repairer of their units.

Owners are not concerning about the maintenance or repairing because old lease or rent agreement are not with the sufficient market value. Without the good maintenance system, vegetations are growing, saplings and their roots create a greater impact on the facade and even to the structural parts of the building. Owing to a lack of proper maintenance system and abandoning of usage this building has faced so many deteriorations.

Further, due to abandoning of the upper floors of these buildings the attention that they deserve has been lacked causing many a problems with them.

Due to the hanging of large size sign board, external plaster and brick layers are damaging and cracking also hiding historical beauty of the city. Further , in one instance, the parapet wall of a building has completely been removed by the residence due to safety concerns, the parapet wall provides a haven for thieves to hide in has believe by the residents.

### **3.2 intervention agent of deterioration of streetscape**

The famous quotation from John Ruskin's "The Seven Lamps of Architecture" (1849) provides us the most uncompromising answer ever formulated to the question contained in the title. "It is.... No question of expediency or feeling whether we shall preserve the buildings of past time or not. We have no right whatever to touch them. They belong partly to those who built them and partly to all generation of mankind who are following us". (1)

The streetscape preservation proposal in the slave island area we are follow a simple set of guiding principles, which will also provide the basic guide lines for historical façade conservations throughout Slave Island.

- Where the original historic façade remains largely intact, it should be repaired and restored, replacing only the missing features.
- Where original historic elements have been covered by latter, modern installations, the original façade should be uncovered and restored, if possible.

- , Where the original façade elements have been completely removed, or are beyond repair, the new store front façade should be designed as much as possible to complement and blend with surrounding façade designs.
- o A façade design should employ limited palette of complimentary colors, which if possible do not clash with the schemes of adjacent buildings. Extremely bold color schemes should be avoided.
  - o Applicable design principles for all each component for façade will be reviewed in detail. While not every building will include each possible component , overall guidelines provide a basis for designing the restoration , reconstruction or new enhancements of virtually every storefronts( shop windows)

### **What is conservation?**

Conservation is the action taken to prevent decay. In this study we are limited to the façade, and façade's decorations. It embraces all acts that prolong the life our cultural and natural heritage. The object being to present to those who use and look at historic buildings with wonder to artistic and human messages that such building possess. The minimum effective action is always the best; if possible, the action should be reversible and not prejudice possible future intervention. In this study the word conservation it means the "wise use and management of all the resources, both natural and man-made and the careful planning of those resources to meet our future needs." It is a continuing process of planning the development of a city while recognizing its history. The conservation efforts can only succeed with the collective commitment and effort of all citizens.

By conserving the valuable building's facades in Slave Island we could retain the memory of the early immigrants who transformed Slave Island from a company street to a bustling city. The languages cultures and beliefs of the immigrants are embodied in the churches, temples, mosques, been create by the society. One of the main objectives of this study to conserve such characteristics and make Slave Island historic district for the present and future generations.

### **Plan of action**

After the façade has been inspected and the information has been recorded, decisions about its condition and the work required to ensure that is safe for the present and will serve its purposes in the future can be made. The façade may require only maintenance.

If may only need its joined sealed, its flashing repaired, or its leaders cleaned to keep water from penetrating behind the surface. Window frames may need to be painted. Proper maintenance of the façade, although it may at times seem expensive, is the cheapest way to protect the building in the long run.

If the required maintenance is deferred for financial or other reasons, small problems may become big ones, and the cost of repair will almost certainly be greater.

## **Approach to preservation**

Development of a comprehensive and coherent plan for façade conservation and restoration requires a general goal-incorporating both the requirement that a façade be safe and the desire to maintain the façade appearance-against which all decisions regarding work on the façade can be measured. Although approaches to preserving and restoring old building vary widely, one of the most generally accepted tenets of preservation is the idea of reversibility. It is always preferable to choose a solution that can be reversed so that the original condition can be restored. A reversible procedure can be undone if it does not work, if it causes unanticipated problems, or if an improved method of restoration for this condition is found in the future. Of course, there are circumstances when the condition of the façade, the lack of available reversible solutions, or other factors, such as economics, dictate that nonreversible methods be used.

There are widely varying views of the proper way to treat landmarks-buildings of major architectural and historical significance-but there is usually a desire to preserve as much of the existing fabric as can be salvaged. Accordingly to this philosophy,

Deteriorated material should be patched or consolidated whenever possible, even if only a small portion of the original remains. When working with the façade of buildings that are not landmark but are individually impressive or are important as a part of streetscape,

It is usually most important to preserve the exterior appearance of the structure-the forms and profiles of its elements, the color and textures of its materials, and the characteristics of the materials that affect their apparent colors and textures. Thus, materials should be patched if possible, and if that is not possible, should be replaced with similar materials.

If changes must be made for reasons of replaced deteriorated materials with other materials that have the same form and surface characteristics without visually changing the façade's character. In all cases, the restored façade should match the original façade in color, texture, profile, and other visual characteristics.

### **Consequences of solutions**

Not all consequence of repair and replacement methods is all ways apparent before the methods are employed on a building. Until a material or methods has been implemented, performance on the job cannot be evaluated.

Thus, when new materials or methods are used for the first time, the consequences may not be the fully understood. It is important, however, to use as much care as possible to ensure that proposed solutions will not result in further damage to the façade's materials or structural stability.

Failure of methods that were widely used on old buildings in the past emphasizes this point. For example, many masonry buildings were cleaned by sandblasting.



By removing the surfaces of the masonry units, sandblasting not only damaged the appearance of many of the materials but made them more susceptible to the action of water, thus accelerating deterioration. Silicones were applied as protective coatings to keep water from damaging facades. In some instances, instead of protecting the walls, they inhibited the passage of water vapor, and moisture trapped behind the surface led to spalling and exfoliation. Bituminous coatings, often applied to interiors of parapet walls to prevent water entry, also acted as vapor barriers, causing similar problems. Following the theory that stronger is better, hard cement mortar was used to point walls of soft brick or stone, which had originally been laid in lime mortar. Stresses from any movement caused the masonry units, rather than the mortar joints, to crack, and expansion/contraction cycles eroded the edges of the masonry rather than the mortar. In most cases, these methods were used with the best intentions but without adequate knowledge of their consequences.

Concealed surfaces from water penetration. All sides, edges, and cut ends should be primed after the piece has been trimmed to fit. Wood replacement members should be installed using hot-dip galvanized or stainless steel fasteners.

Where entire existing elements on the façade are too deteriorated to be consolidated and patched or repaired with Dutchman, new replacement elements should be treated with appropriate wood preservative, after fabrication and before installation.

Major repair of concealed wood supports for projecting sheet metal elements is seldom undertaken. Deteriorated members are usually replaced with wood that has been treated with preservative and fire retardants.

### 3.2.1. Building Form



Soyza building



No 125

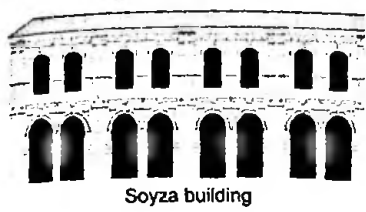


No 140

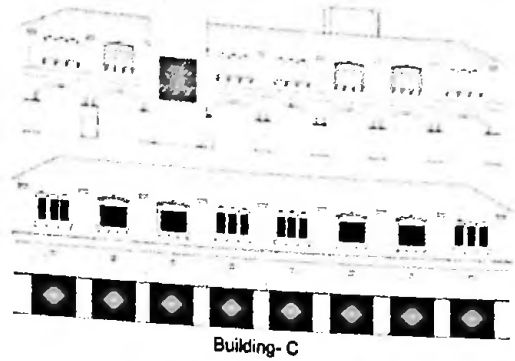


No 137

When comparing the three buildings, their colonial form is uniform, though they have been subject to some deformities owing to various usages and human activities. (Figure 3.1)



Soyza building



Building-C

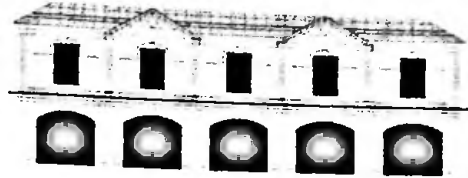
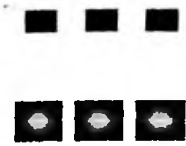


Figure 3.1

Those deformities are mostly temporary except in the case of "Building No 137" which has been changed from its colonial form permanently. These modifications have been done according to personal whim of their owners, thus disturbing the colonial appearance of the area. (Figure 3.1a)

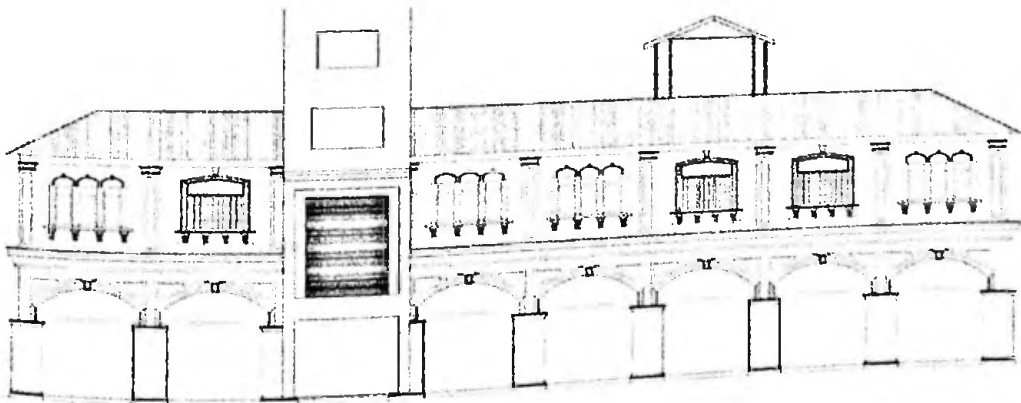


Figure 3.1a

Steps should be taken methodically to correct the aforesaid deformation. There are two main steps that can be taken in this course:

Removing the aforesaid deformity (Building No 137)

The upper part of the building can be eliminated leaving the first two levels of the building resembling the other two buildings on either side. By following a methodical way the value of both owners and area can be maintained. (Figure 3.1b)

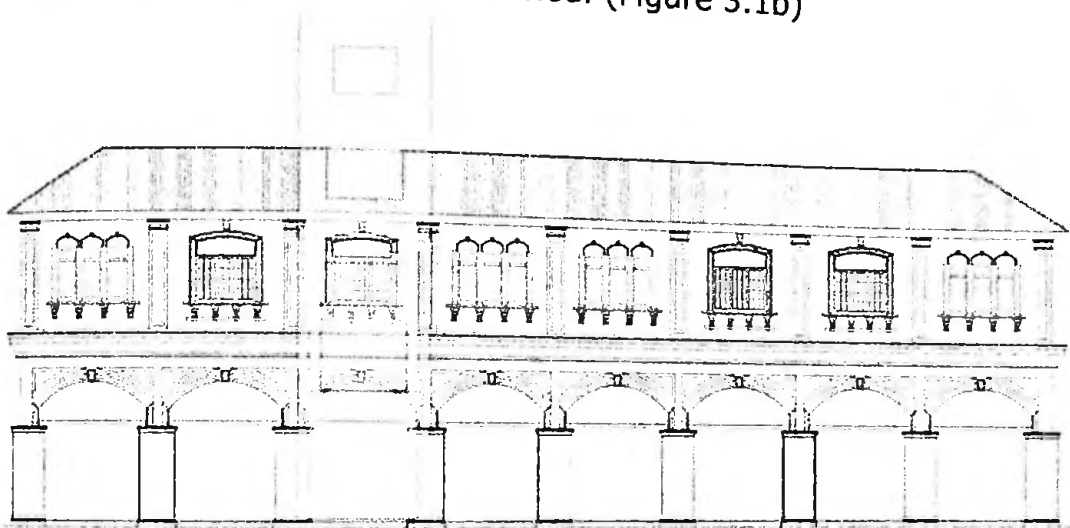


Figure 3.1b

II. Changing only the outer appearance of the building to a colonial form while maintaining those deformities. (Building No 137)

Colonial architectural features can be infused to the outer appearance of the building while retaining the modern developments. Here, using the historical form, decorations and window patterns of other buildings the outer appearance of the building should be changed to suit the colonial streetscape of the area.

The modification should be done so as to imply that this building is a new one and not a historical one. (Figure 3.2)

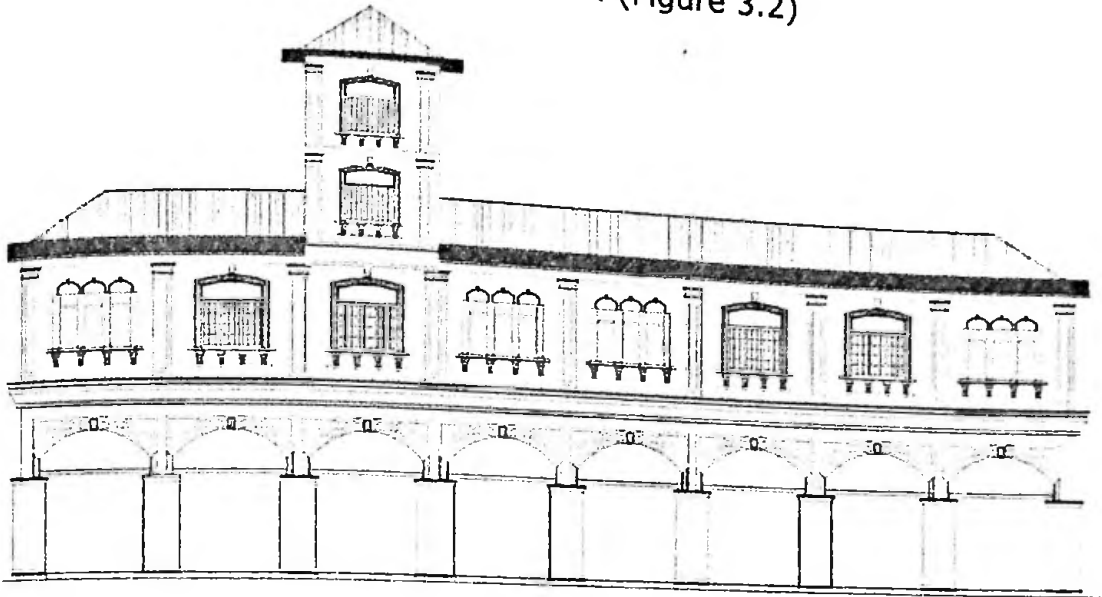


Figure 3.2

Using canopies is the next main deformation. This can be considered a necessity when the present usage is factored. As most of the occupations are shop houses, canopy plays an important part to attract customers and provide goods and services. Here, by introducing an identical canopy to all

The residents which will blend with the colonial architecture of the building will facilitate the conservation of the streetscape.

The new items should be documented and can be easily identifiable. (Figure 3.3) (Figure 3.3a)



Figure 3.3

Using canopies is the next main deformation. This can be considered a necessity when the present usage is factored.

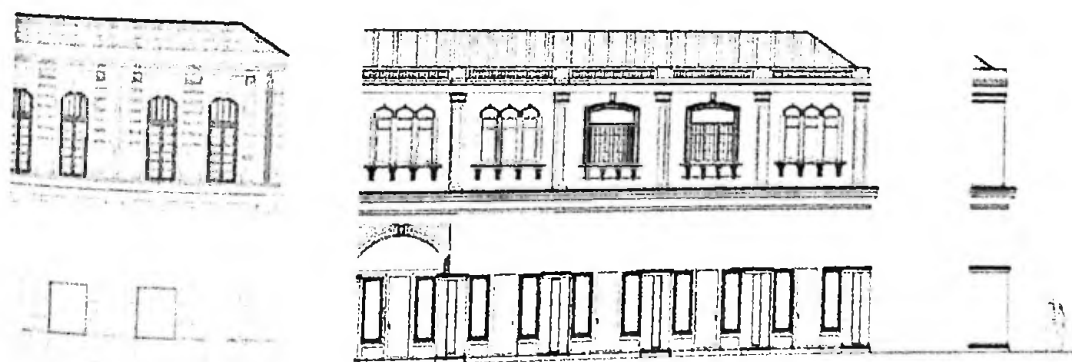
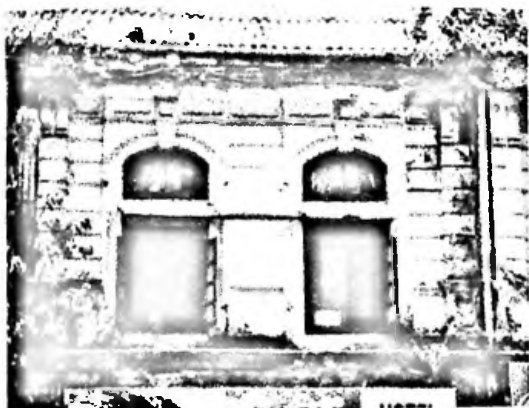


Figure 3.3a

Introducing an identical canopy to all the residents which will blend with the colonial architecture of the building will facilitate the conservation of the streetscape.

When compared to the other buildings the occupants of the Soyza building have installed canopies to the windows of the upper storey of the building. The reason behind this is the narrower eave of the roof of the building which requires a canopy to protect from harsh sunlight and rain. The other two buildings (Building No 137 and 140) roofs have been reconstructed with a broader eave thereby eliminating the need for a canopy. (Figure 3.4)



Soyza building



building No 140

Figure 3.4

The soyza building and the (Building No 125) are in a weak condition when compared with the other one.

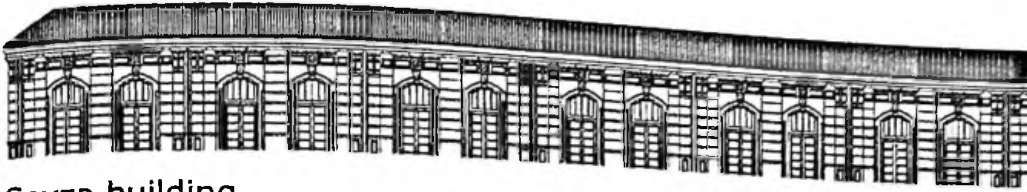
Steps should be taken to strengthen those buildings. When doing this it should be careful not to change its historical form. Since the lifetime of these buildings have been expired they are not in a condition to stand the pressure coming from the environment.

Due to the heavy traffic flow of this area, these buildings can easily be subject to weak. Therefore, it can be proposed to reduce the heavy traffic in this area by finding alternative routes. This will help in maintaining the colonial streetscape of this area. The windows of all these buildings (soyza, No125, No137) are in a very poor condition. This has caused the historical form of both of these buildings to change. Most of the windows have been changed and some are even abandoned. A proper research should be carried on the windows of these buildings and using evidence that are available with the existing windows of good condition the changed and the abandoned windows should be restored and the historical form of these buildings can be brought back. Owing to the wide eaves of other two buildings the windows are protected.

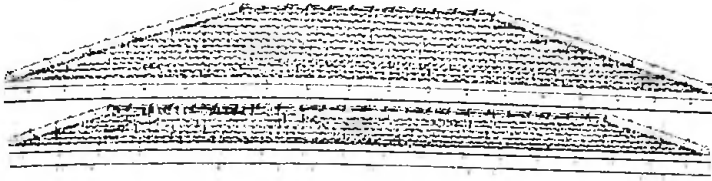
Further, due to the reason that the upper floor has not been fully utilized the historical form of these buildings has changed. Since the occupants are not living on the upper floor and been using the floor for other purposes the attention given to those windows have been closed of those two buildings (No 125, No 140). Further, due to using those floors for other commercial uses have caused the historical form of these buildings to change. The historical usage of these buildings should be re established by facilitating the occupants with living conditions thereby maintaining the historical form of these buildings.



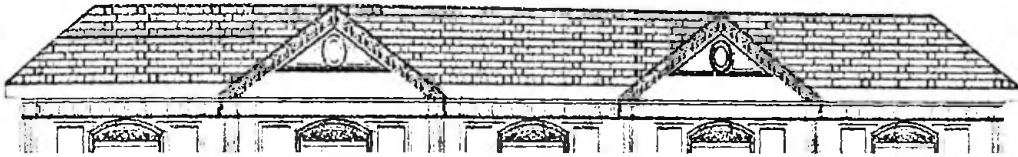
### 3.2.2. Roof



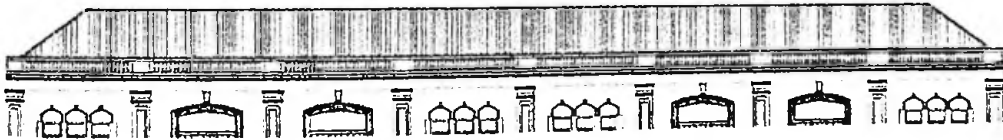
Soyza building



Building No 125

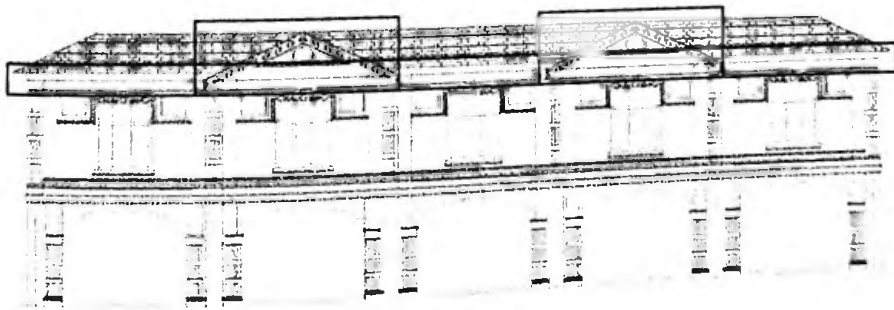
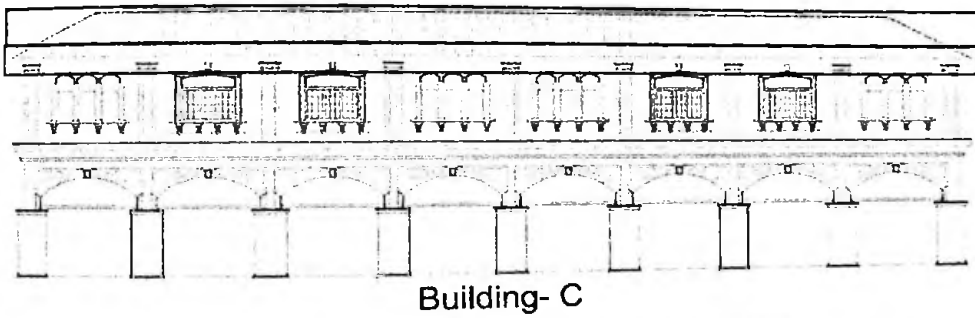
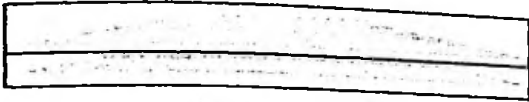
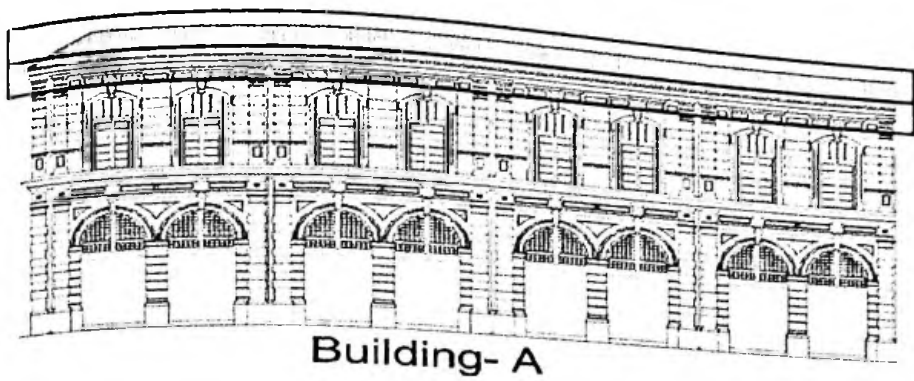


Building No 140



Building No 137

Among the four buildings the Soyza and the (Building No 125) are intact with their historical roof and roof form yet in a very weak condition. When compared with the modified roof of the Soyza building the roofs of the other buildings look very similar though all the roofs are somewhat modified. Except for Soyza and the (Building No 125), roofs of other two buildings (Building No 137 and 140) have been modified from its historical form. (Figure 3.5) (Figure 3.5a)



Original form of the roofs

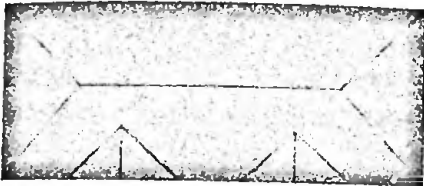
Figure 3.5



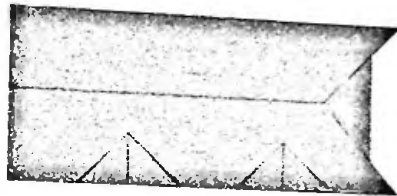
Postal No 140



postal No 137

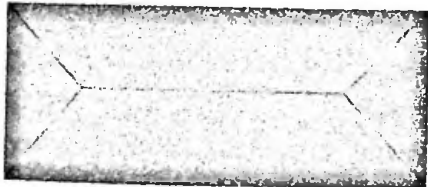


1

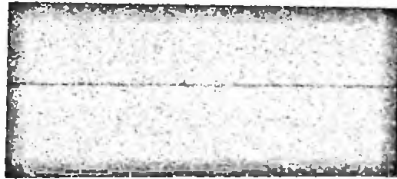


2

Postal No 140 original (1) roof form and modified roof (2)



1



2

Postal No 137 original roof (1) form and modified roof (2)

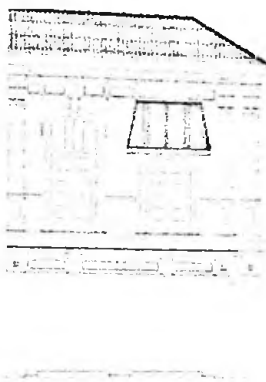
Figure 3.5a

Except for Soyza and the Building no 125, roofs of other two buildings have been modified from its historical form

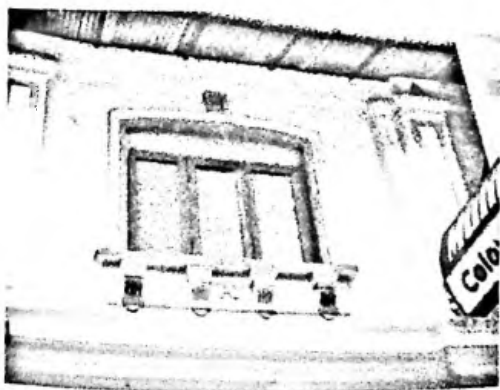
Due to the human activities existing there, the parapet walls of these buildings have been removed and the roofs have been elongated (Building No 137).

Though this has caused the historical form of the roof to change it has protected the wall and the window of the upper floor of the building from sunlight and rain. This can be proven by comparing the buildings to the Soyza building.

Since the eave of the Soyza building is much narrower the upper storey walls are heavily decayed. Further, to protect them from the direct sunlight and rain they have resorted to canopies. (Figure 3.6)



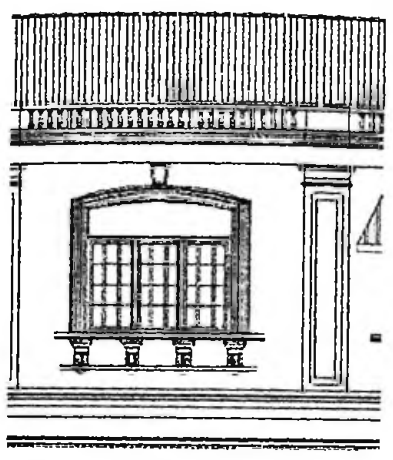
Soyza building –narrow eave



Modified roof with (no 140) more wider eave protect upper wall and widows

Figure 3.6

Our concern here is conserving this streetscape while presenting answers to the problems faced by present occupants of these buildings. That is recreating the historical roof form of these buildings by building back the parapet walls of these buildings (Building No 137), taking examples from the neighboring Buildings, such as Nippon Hotel. This way the colonial streetscape of this area can be retained for future. (Figure 3.7)



No 137 without the parapet wall



Nippon hotel

Figure 3.7

The other major concern is by giving them the historical roof form back by adding the parapet wall the eave of the roof will be reduced, thereby exposing the walls and windows to weather as experienced by the Soyza building. This can be remedied by adding the same canopies adopted by the occupants of the soyza building. (Figure 3.8)

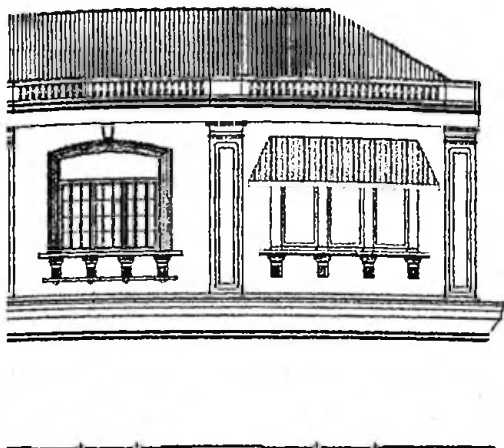


Figure 3.8

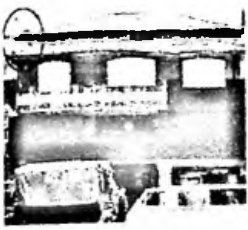
Presently all of these buildings roofs have been done with asbestos or Calicut tile. In the colonial era they have used half round tiles to do the roofs. Therefore, if we can use half round tiles for these buildings at least as a covering tile, the colonial appearance of this streetscape can be enhanced.

Further, a common problem for all these buildings is rain water seeping to walls due to dirt piling between roof and the Gutter. The best remedy for this is to undertake constant cleaning and maintenance of these buildings. This kind of methodical maintenance can easily eliminate the present decaying of the building.

### 3.2.3. Façade



Soyza building



No 125



No 140



No 137

The façade of all these buildings are intact up to a certain extent. The remaining problems with the façade of all these buildings are mostly common.

Firstly, the hoardings that exist covering these historical facades should be removed. Further, in a methodical way only the relevant sign boards should be allowed so as not to disturb the historical façade. By removing those giant hoardings the historical decorations of these buildings can be made visible. This way the lost and the erroneously replicated can be eliminated and correct restoration can be done.

Façade decorations of all these buildings are mostly repetitive and symmetrical therefore the lost decorations can be easily identified. The down pipes of the buildings should be replaced with new ones so as to blend with the historical façade.

All in all the most important solution to preserve the historical value of these buildings is introducing a proper maintenance framework. Finally, the modifications and restorations done to these decorations should be properly documented and listed so the new additions can be easily identified in the future. (Figure 3.9) (Figure 3.10)

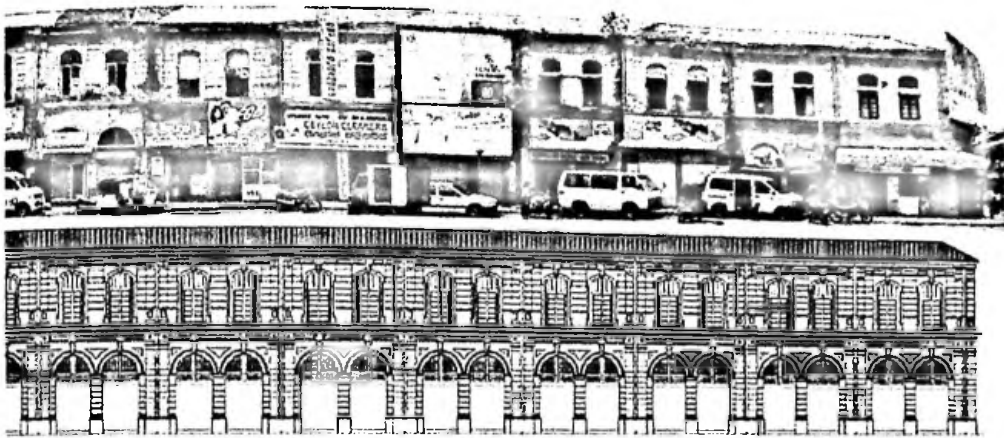


Figure 3.9

Firstly, the hoardings that exist covering these historical facades should be removed

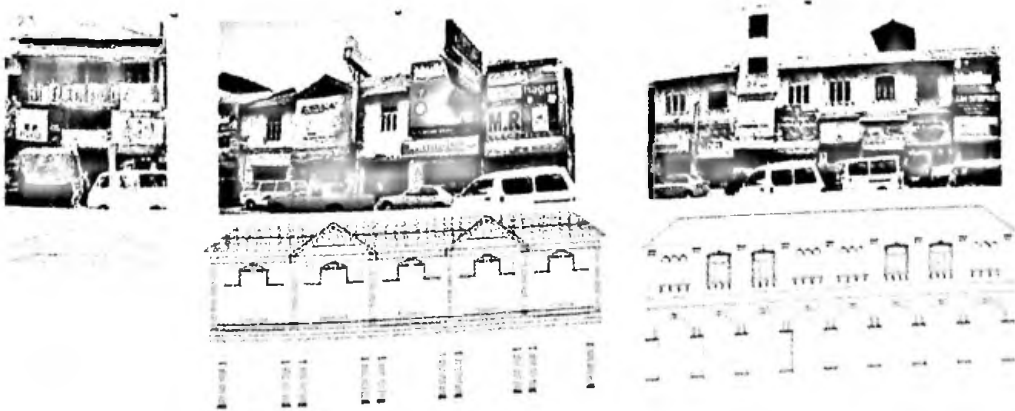


Figure 3.10

The modifications and restorations done to these decorations should be properly documented and listed so the new additions can be easily identified in the future.



As elements giving a building form, walls define a structure's limits and endow it with a visual presence.

The forms of the walls and the qualities of the materials of which they are made- their shapes, colors, textures and detailing- define the character of a building and provide the basis for the image people have of it. The walls given a building scale, relating it to the people, the landscape, and the building around it. They also determine whether the building will be seen as a reference to the past or to the future. In addition to creating images, however, walls are important building system with numerous functional purposes. In many cases, they support the rest of the building. In almost all cases, they form an envelope that protects the interior of the building and its inhabitants from abuses of water, air, sun, and other environment forces. (Figure 3.11)

(Figure 3.11a) (Figure 3.11b)

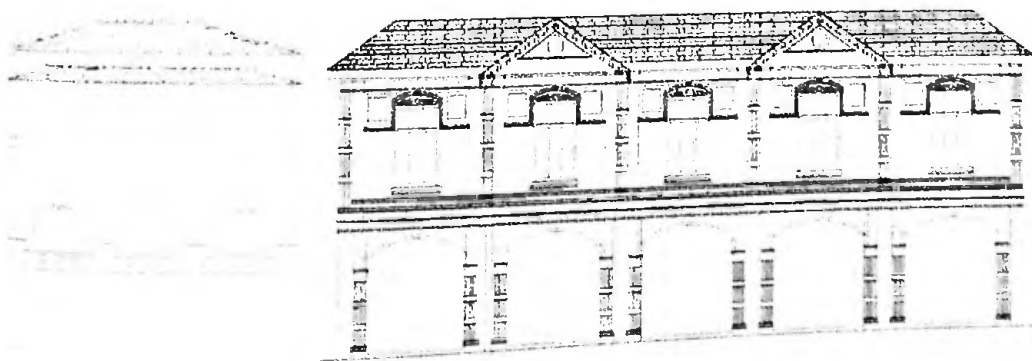


Figure 3.11

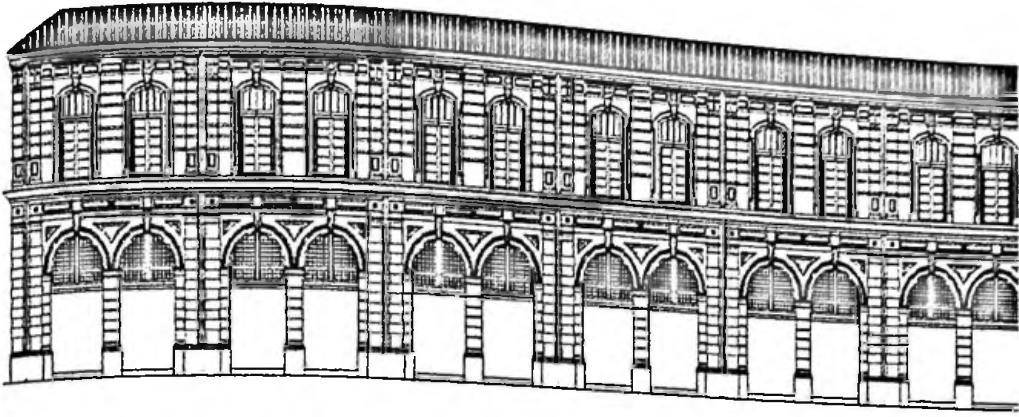


Figure 3.11a

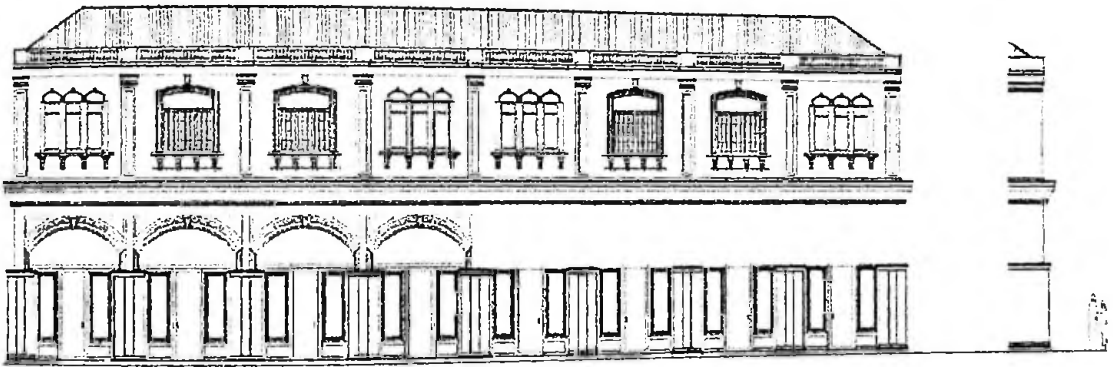


Figure 3.11b

Façade decorations of all these buildings are mostly repetitive and symmetrical therefore the lost decorations can be easily identified

Façade decorations of all these buildings are intact in a recognizable level. These buildings are in a very vulnerable condition that the occupants have changed the decorations/Façade plaster according to their whim. Here the occupants have not properly studied these buildings before doing these alterations and it has caused the buildings to deteriorate further. The historical decorations of these buildings will be vanished slowly. (Figure 3.11c)

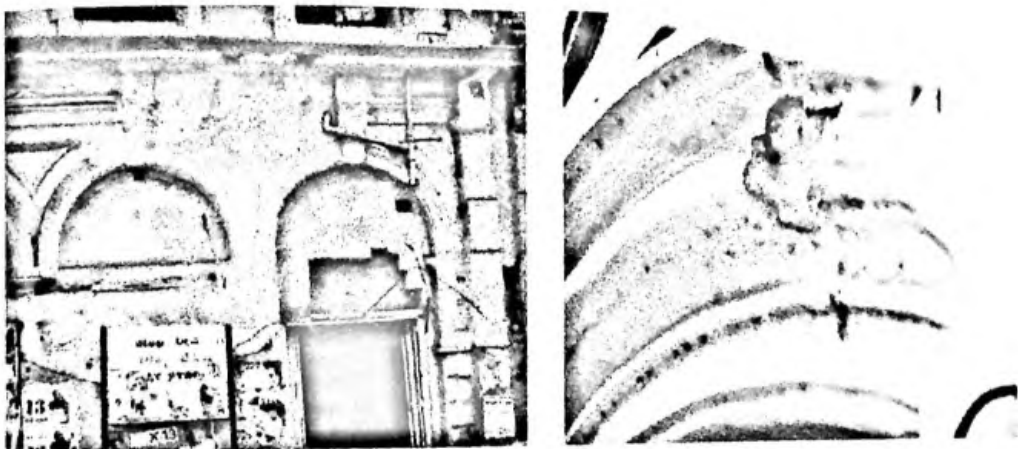


Figure 3.11c

Since the new plaster doesn't suit the wall of the building it is highly likely that the plaster will fall off the wall very sooner. Here, the occupants should be given the knowledge on historical decorations and historical plaster compounds and the steps that should be taken when repairing those buildings. Further it would be useful to establish an institution to handle all these repairs. Further, the signage that fully covers these façade should be removed and a suitable one should be introduced in a place so as not to cover the façade.

The occupants of these buildings too face the competition and they should be facilitated to advertise their business to ensure the survival of both occupants and the buildings.

Unfortunately, many people charged with the maintenance and repair of building façade become so preoccupied with the deterioration of walls and their components and the resulting problems and expense of repair that they forget the many positive ways that walls contribute to our existence-both as individuals and as a society.

Because these positive aspects of walls-the forms and presence they give to buildings, the scale they give to the street and to the neighborhood, and the historical reference they provide-are as important as the negative,

This study places as much emphasis on retaining a wall's appearances as it does on preserving or reestablishing its structural integrity and continuity.

#### **3.2.4. Floor**

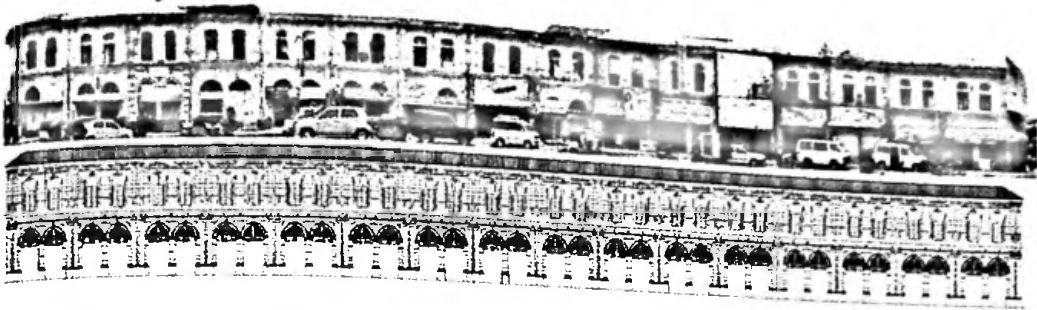
A common attribute to all these buildings is that their ground floors have been finished with cement and the upper floor is finished with cement on a wooden structure. Floors of all the buildings are presently very complicated. I.e. the present owners have finished their area according to their fancy. Therefore the clues for original colonial / historical floor are not to be seen today. Hence, it should be adopted from studying the other colonial streetscape from other parts of the city.

In the same way the upper storey floor also can be finished by studying the other colonial era buildings from the area.

The upper storey floors of all these buildings are presently depreciated beyond the level where humans can make use of.

Some important historical evidences can be traced (floor finishers) from the nearest buildings such as the Nippon hotel and the Castle hotel. The floors of these buildings are in very good condition even today due to proper maintenance. Further, the narrow gap between the floor and the pavements of these buildings, pavements should be clearly defined so as to enhance the colonial/historical value of this streetscape.

### 3.2.5. Doors/Windows



Soyza building



No 125

No 140

No 137

There are different types of doors in the ground floor of these buildings. The owners have installed doors to suit the businesses that they are doing. Therefore, the streetscape has complicated beyond recognition.

These irregular door styles should be changed to their original form with the consultation of the present owners so that their businesses won't get hindered due to this. (Figure 3.12)



Figure 3.12

These buildings have survived all these years partly due to the fact that these owners have been clinging to the premises, therefore the occupants should be given priority when making any alteration to these buildings.

Steps should be taken to strike a balance between enhancing the historical form of these buildings and development of the occupant's businesses close study can reveal some important evidences of their door and window styles. Those evidences should be identified and they should be changed to suit the present usage of the buildings, since these buildings must have not meant for the present usage when originally built.

All upper storey windows are in dire condition today. Still the decorations of these buildings provide a glimpse of their original look and provide historical evidences of their original window designs. This will help in giving the buildings their original windows back.



The expertise can be sought from the wood conservator because according to architectural conservation ethics the new additions should be identifiable and should be properly documented. (Figure 3.12a) (Figure 3.13)

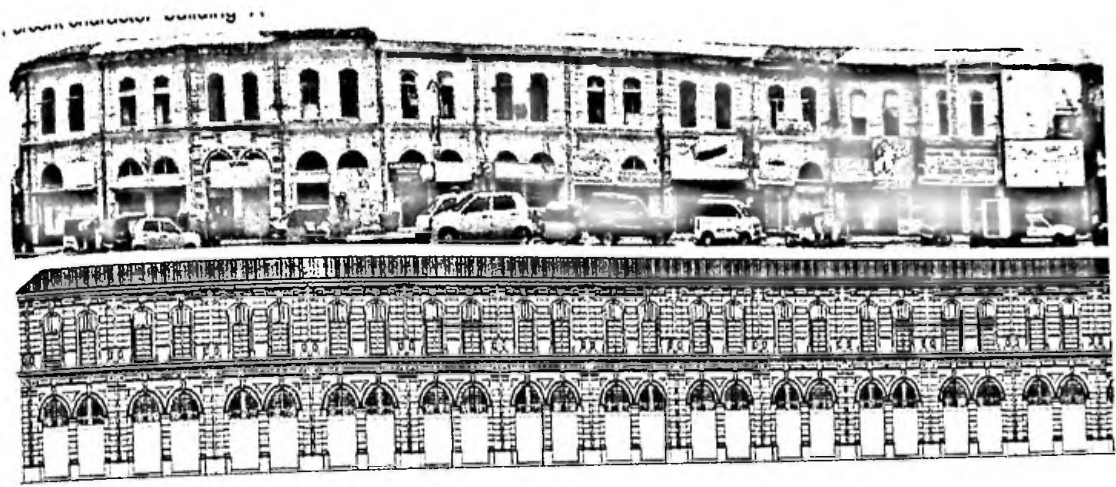


Figure 3.12a



Figure 3.13

A close study can reveal some important evidences of their door and window styles. Those evidences should be identified and they should be changed to suit the present usage of the buildings



Walls usually have openings-windows and doors-to admit light and air and to permit entrance and egress. As essential as they are, however, openings in walls pose potential problems.

At the most basic level, member across the top of the opening, or lintel, must support the portion of the wall above it; if the lintel fails, either from improper design or from deterioration, a portion of the wall will sag and may eventually collapse. Openings also provide several locations through which water can seep behind the wall's surface. Unless window opening are carefully designed, water running down the façade, for example, may run back under the window lintel or under the window sill, or enter through the sill if, as in many older buildings, the sill has joints that have not been maintained.

Joints between the surface material of the wall and the frame of the window must also be properly constructed and maintained to exclude water. The window material itself, most often wood in old buildings, must be protected. If it is not, water entering it may be damage not only the window members but the surrounding wall as well.

The entry way and the related windows are not uniform in all these buildings presently due to changes that have been effected to match the commercial purposes of these buildings thereby changing the historical view of the building. (Figure 14)



Figure 3.14

The ground floor shop front should be planned so as to enhance the present usage. Historical evidence that is available within these buildings should be used in planning the ground floor that includes display windows and entry way (door). (Figure 14a) This will facilitate the development of the commercial usage of these buildings. The upper level windows of all these buildings are in a recognizable situation and are in a ruinous condition due to poor usage. Further, in the Soyza building the occupants have used canopies

Entryway

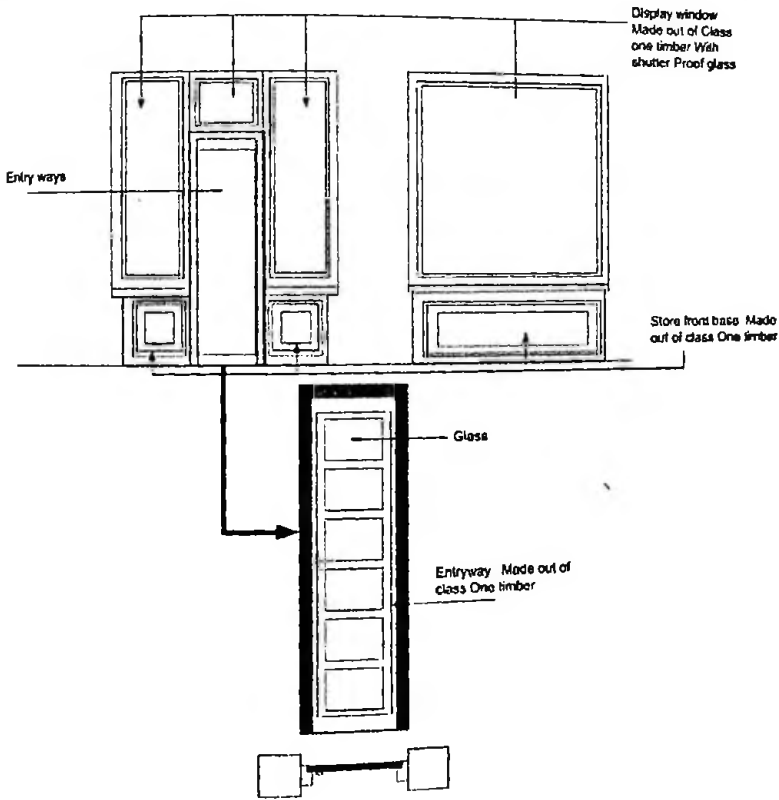
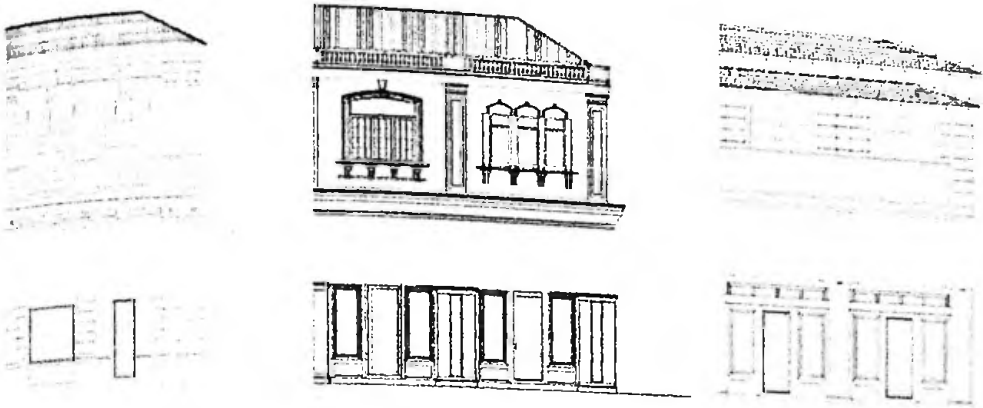


Figure 3.14a

The decayed window decorations can be seen from these which will enable us to give these buildings their windows back. (Figure 15)

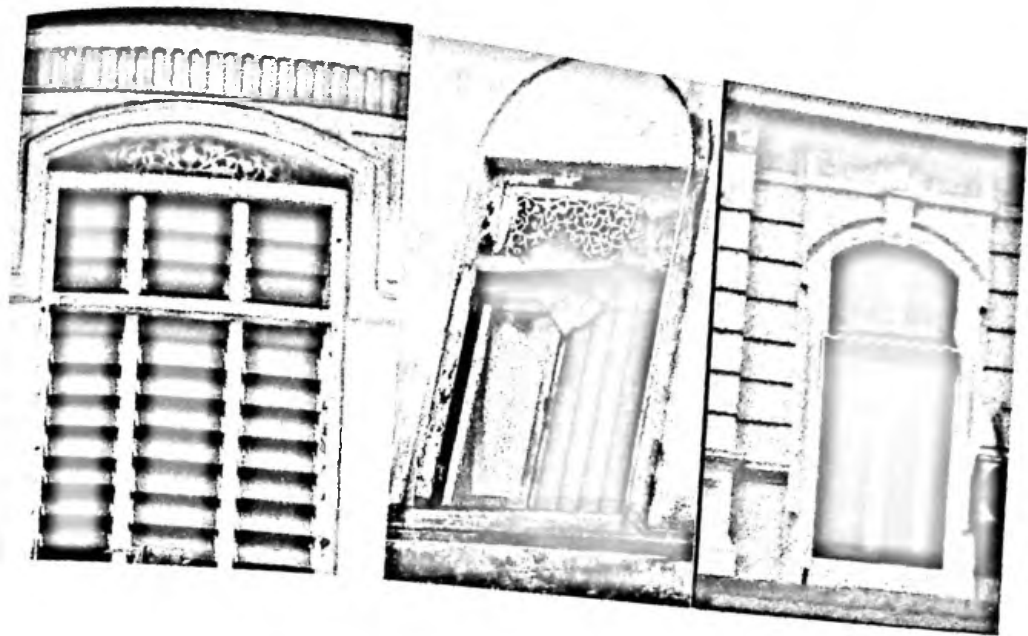


Figure 3.15

The decayed window decorations can be seen from these which will enable us to give these buildings their windows back

### 3.2.6. Other

The future of all these buildings lies on the success of the businesses of its occupants; therefore the attraction of customers to these shops is of utmost importance. That means the accessibility to customers is of high importance in a locale like this.

The pavements should be laid so as to enhance the accessibility and to match the colonial streetscape. The historical evidence can be traced from other colonial town ships of the country.

The light posts and traffic lights that are closely associated with this streetscape should be harmonized with the colonial streetscape so that it will be more attractive.

These will improve the life standards of the residents of the area thereby guaranteeing the longevity of these buildings. The knowledge that the residents gain about the historical importance and the value of these streetscape will persuade them to protect this spontaneously.

Another crucial factor in this process is the identification of the color that best suits this streetscape. Studying the other buildings of the same are both locally and internationally can reveal a color that best fits this streetscape.

The complicated and congested structure of this area and the high traffic condition has made this area unattractive to many a people. Therefore accompanying the afore suggested colonial streetscape with the recommended color scheme and making the place a little less complicated with a much safer traffic situation will make this area much attractive to visitors.

The right knowledge that the residents gain on the importance of these historical buildings will compel them to protect them thus ensuring the buildings will stand for a foreseeable future.

## References

6. SLTI journal

from the past to the future.

Chapter 6.2

Volume no 17

## **Chapter four**

### **4. Curative Proposal for preservation of historic streetscape**

We will take the initiative to create an urban environment conducive for living as well as for wholesale and retail commercial activities in the slave island area. Should Active private participation in conservation and development activities also will be encouraged, together with government and private sector involvement, with all those above parties together it would be possible to implement the conservation and redevelopment plan, to uplift the beauty of slave island area.

This is viewed as three-way strategy of

- Promoting economic and social development, while
- Preserving the historic building's façade and improving living condition
- The exercise will deal with the documentation of available facts on colonial urban streetscape elements (facades) the varieties, material technology, development and influences: and the determine factors in the design of the urban environment. It would wind up the architectural and social impression too. From the very beginning, the project was preoccupied by the need to define those aspects of the old city of Slave Island that are in need to be preserved,

And to control the changes in those areas where change is inevitable and irreversible, Slave Island should not to be regarded only as a historical site or heritage museum, but as a living entity and part of a changing world. The ability of its people to adapt is a major driving force insuring is continuity for more than 100 years.

#### **4.1. Recommendations**

Should be formed local authority for control the implementation of curative proposal and those activities,

The local authorities impose rules and regulation to control the development of the conservation area. Such as regulation include the control of the building high, display and advertisements, selection of colors and materials for building exteriors; and the form of any future addition and extension.

Conceal mechanical, electrical, and plumbing systems completely from view from the street or sidewalk. If such equipment cannot be canceled, minimize their visual impact on building facades.

This buildings is not maintained due to the problem of multiple ownership and building lees or rent payments are base on older regulations then owners are not caring about the maintenance also lease or rent payments are not sufficient to maintenance.

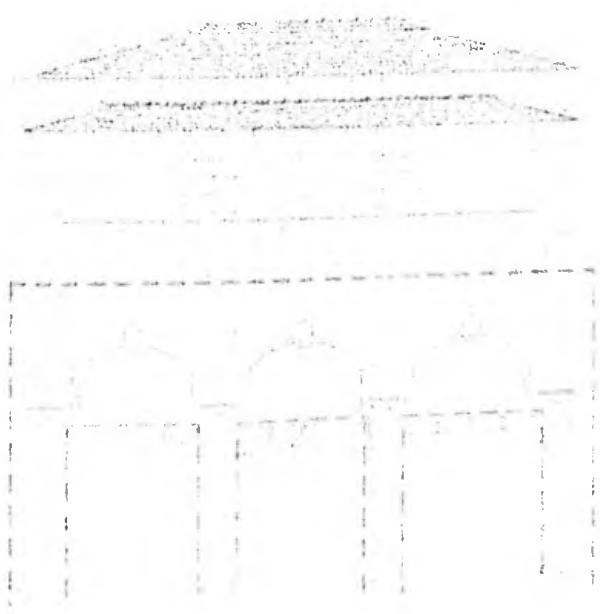
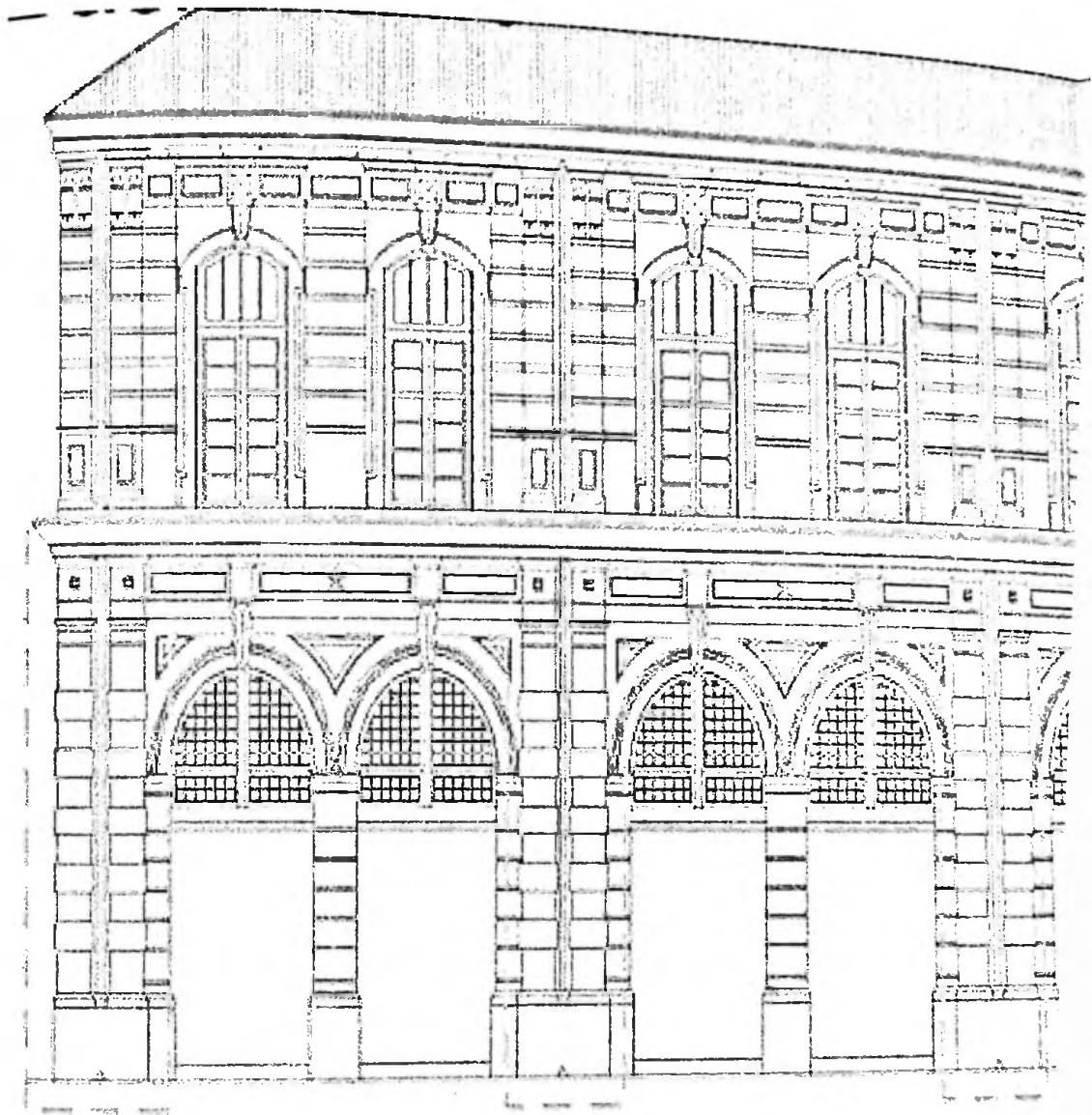


## 4.2. Design guide lines- conservation of the slave island (Akbar Street) as a colonial streetscape.

Applicable design principles for each component of façade will be reviewed in detail. While not every building will include each possible component, overall guidelines provide a basis for designing the restoration, reconstruction or new enhancements of virtually every storefront. (Shop windows)

**The basic frame:** the basic structural frame of a façade provides the important visual basis for separating the distinguishing individual storefronts. It will usually include vertical piers, columns or pilasters, which often provide critical structural support as well as the aesthetic function, and a cornice or parapet (Figure 4.1)

- The frame element should remain visible and not be obscured by other façade elements, such as signage, awnings, or other additions
- The frame elements should be consistent throughout, although individual components of the frame may be different materials. For example, the columns may be of brick, while parapet could be of masonry or stone.
- A façade should be designed to emphasize the frame's vertical elements, to highlight the identity of individual stores. Horizontal emphasis, which obscures the divisions among storefronts, should be avoided.



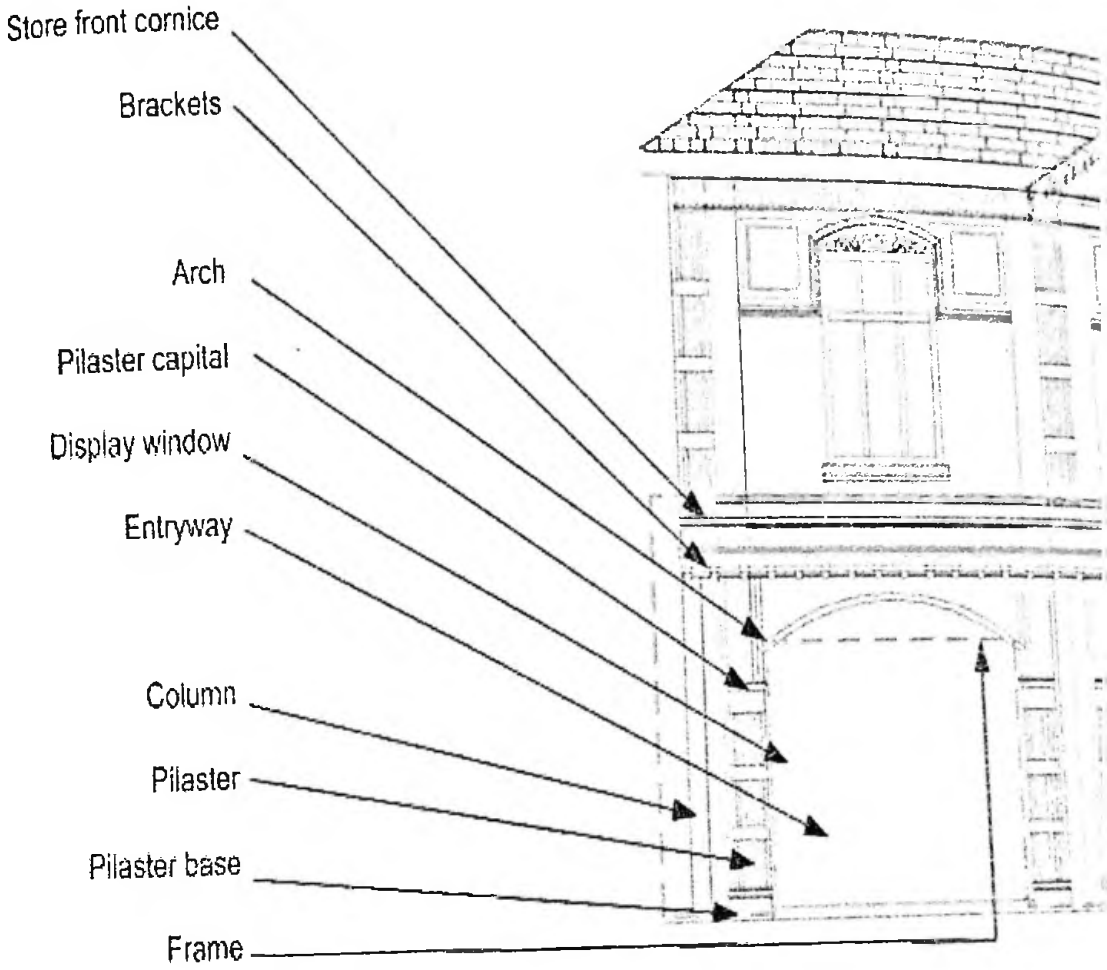
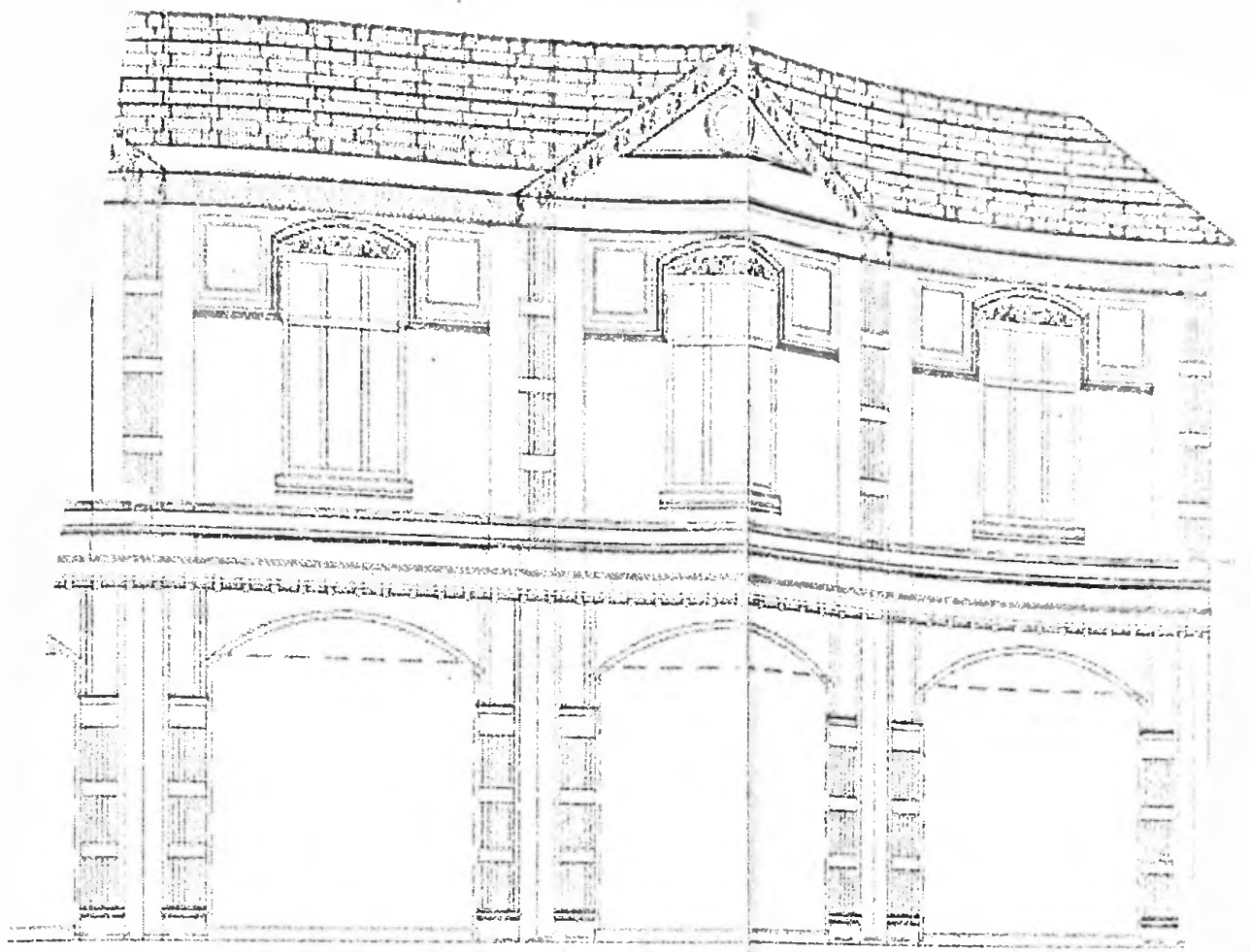


Figure 4.1

The basic frame



**The parapet or cornice:** most storefront facades include a prominent architectural element, which boldly defines the top of the store front, and clearly separates the first floor businesses from upper stories. One-story buildings tend to have parapet walls, which generally extend well above the roof line. (Figure 4.2)

- The existing cast concrete parapets are an important historical feature, and should be preserved, if feasible.
- Cast concrete parapet can be cleaned and restored with the color, or sealed and stained with a palette of compatible colors.



SIDE ELEVATION

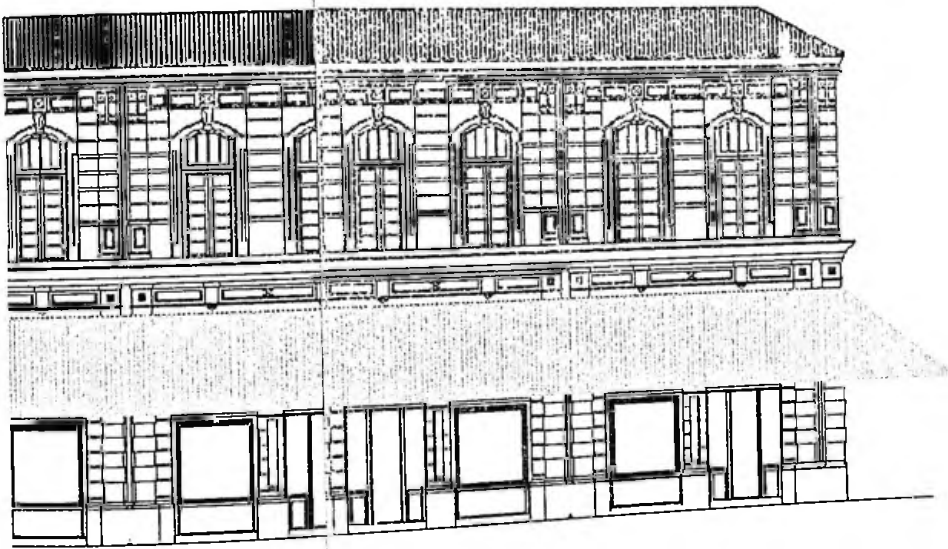


Figure 4.2

The parapet or corr

**The sign band:** This is the new space for sign boards, in most traditional storefronts, there is a signboard located below the cornice or parapet. (Figure 4.3)

- Each principle business sign should fit within the applicable signboard, if one exists, and not protrude over or cover the basic frame elements.
- If possible, individual signs should be of similar construction, design, and color.
- All signs must meet the requirements of the City of Slave Island sign review ordinance, as described further, below

**Awnings:** This part is a new element introduced to Slave Island and this is important to store front facades. The use of awnings as a storefront device was virtually universal in the 19<sup>th</sup> century, awnings shade the sidewalk and window display area, provide shelter from rain, and protect the interior of the business from the glare or direct sunlight when the sun near the horizon. (Figure 4.4)

- If possible, awnings should be located in the area between the signboard or cornice, and the top of the entryway door. Awnings should not cover elements of the building frame or other significant architectural features.
- Awnings should be of a substantial fabric, such as Sunbrella, resistant to fading, and should be uniform in color and pattern for each storefront within the individual building.

- Awnings must conform to the requirements of the sign review ordinance. Under the ordinance, an awning may include a commercial message in the valence, provided lettering does not exceed six (6) inches in height. A commercial logo is allowed in the face of an awning dormer.
- Awning may be fixed or retractable.
- Interior lit awnings are not permitted; however, lighting beneath the awning, which solely illuminates the sidewalk, is permitted.



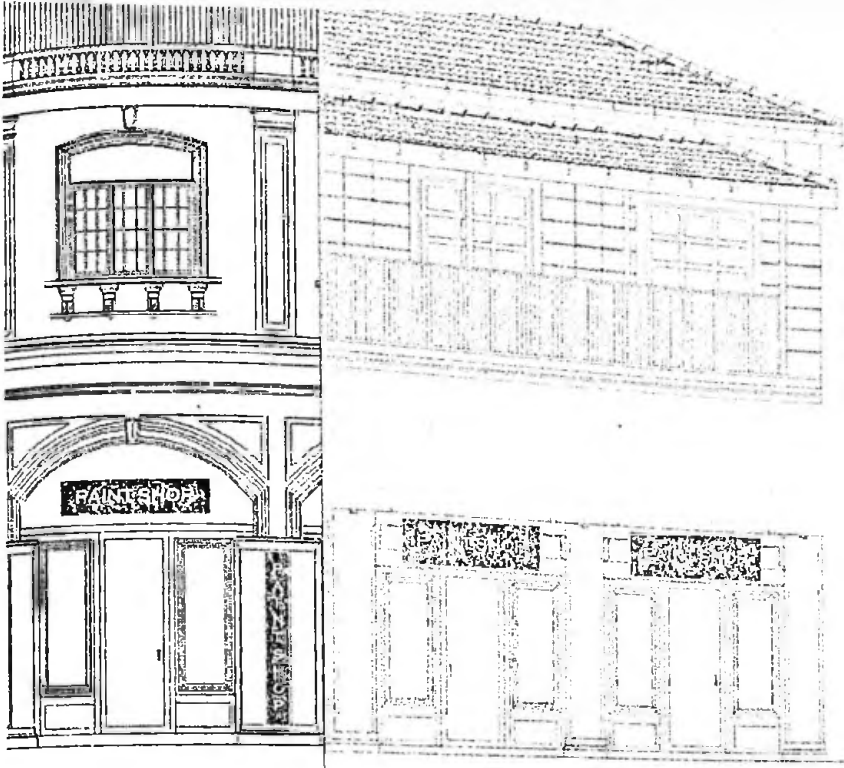


Figure 4.3

The sign band

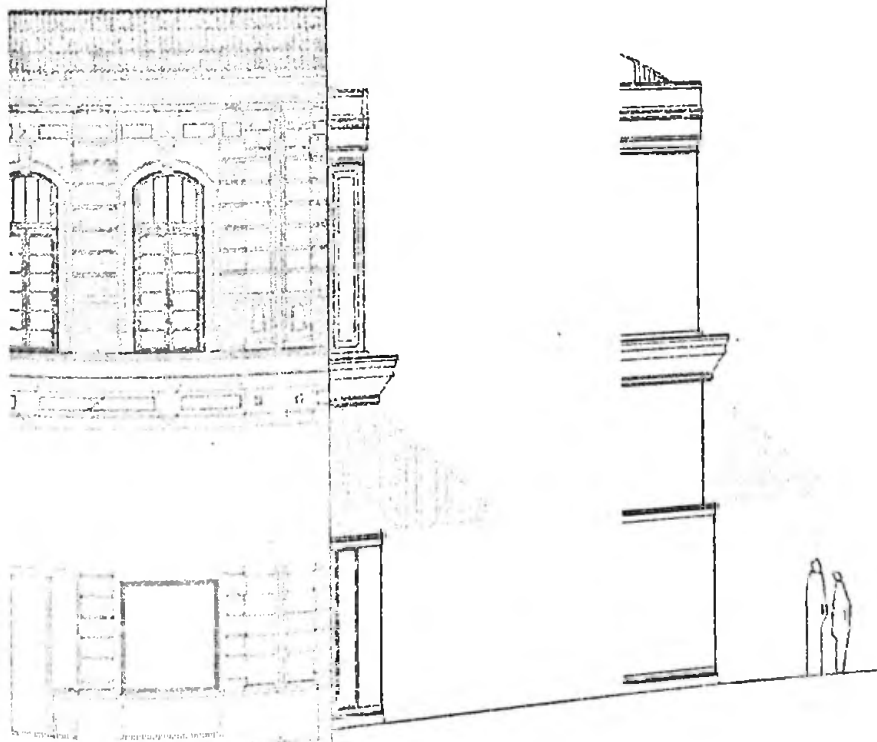


Figure 4.4

Awnings

**The storefront base:** This element is a new introduction to Slave Island and this is important to store front facades. Virtually all storefronts contain a base panel below the display window, which will be introduced to Slave Island, which were constructed of a variety of materials. The base panel provides a strong anchor for the storefront, placing the display area at an effective height, and also acts as a kick plate. During 19<sup>th</sup> century, most storefronts had base of wood panel construction, regardless of whether the frame of the building was brick, or masonry. (Figure 4.5)

- Base panels should utilize a material which is historically and aesthetically compatible with the frame of the façade. Colonial and Victorian storefronts look best with brick or wood panel bases, while art deco and other classical contemporary designs will look best with pigmented structural glass (often used on the original), tile, granite, or similar material.
- When wood panel construction is employed, wood should be exterior grade, properly sealed, and primed and painted with good quality exterior grade paint, one coat of primer, and two finish coats, or stained and sealed with multiple coats of an exterior grade clear finish of polyurethane or spray varnish.
- Trim molding of soft wood, intended for interior use, should not be used in exterior façade applications, as the wood will not maintain a durable finish when exposed to weathering.
- The design, Construction and color of the base panels should be uniform throughout a multi-unit façade.
- Base panels should be flush or slightly recessed (6" to 12") within the building frame, and should not be more than 30 inches in height.

**Display window:** The display windows are the most important feature of the storefront, an inviting display window encourage window-shopping, provides a view of the inside of the store, and allow daylight enter the store interior. The display window visually connects the business with the street. (Figure 4.6)

- Display windows should not be reduced in size or blocked off. If it is important to restrict the view of the interior of the store, vertical blinds, screens or shades should be employed in the store front interior.
- The windowsill should not be higher than 30 inches from the sidewalk. And the top of the window should be a minimum of 8 feet height.
- Overall, glazing of windows and doors should represent at least 70 percent of the total storefront area.
- As with the base panels, display windows should be flush with the frame, or recessed no more than 6 to 12 inches.

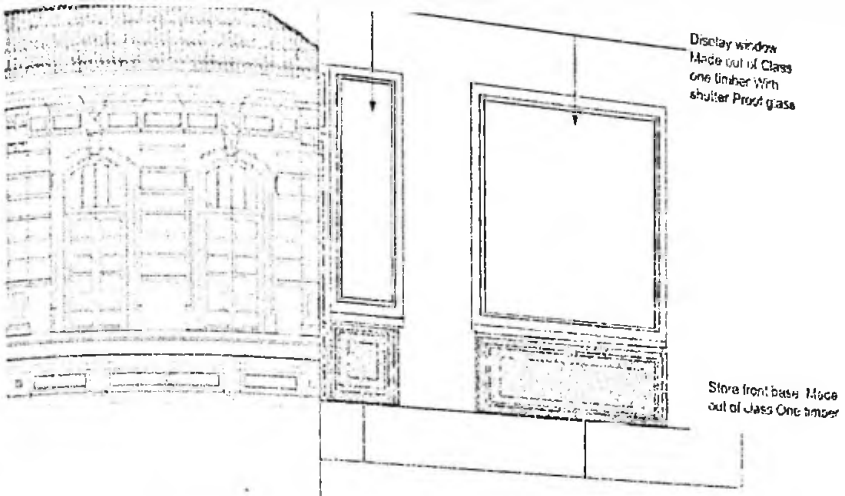


Figure 4.5  
The storefront base

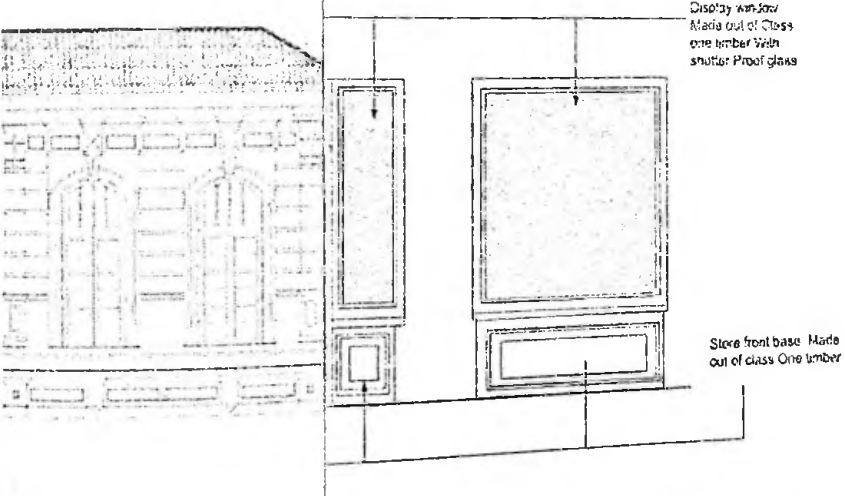


Figure 4.6  
Display window

**Entryways:** The storefront entry and door is the gateway into the business, and will make an important impression on the customer. Typically, entryways are recessed from the front of the façade through the construction of an alcove.

This provides additional shelter from the elements, and an area for the doorway to swing out without interfering with sidewalk pedestrian traffic. The entryway also provides an area of additional window display along the sides, which is visible upon approach from the sidewalk. The floor of the entry should be decorative tile or terrazzo, as can still be seen in the historical storefronts. (Figure 4.7)

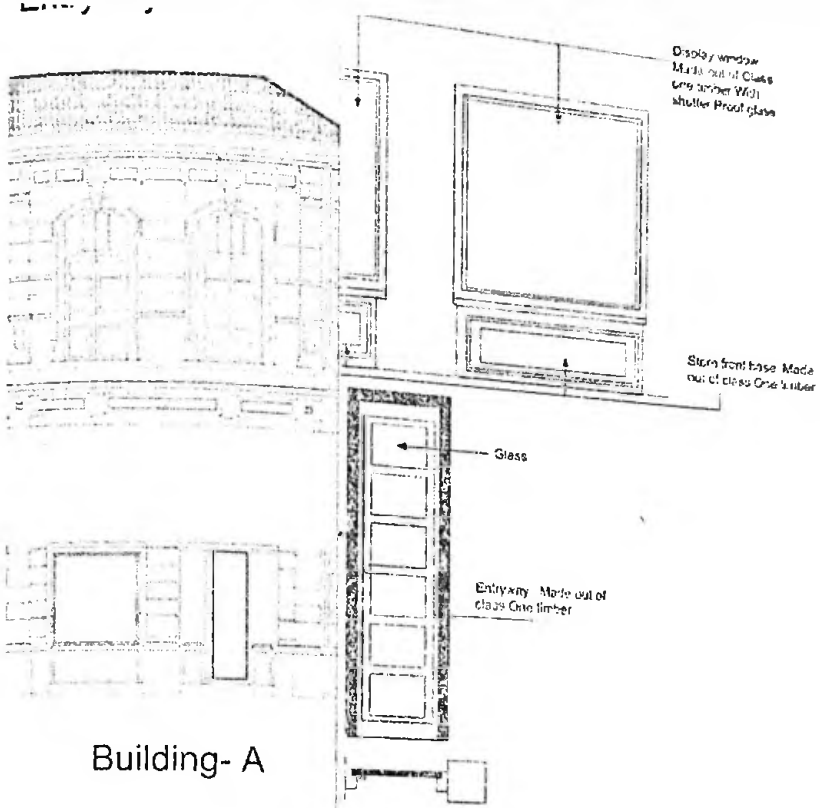
- All entryways and doors should comply with the mass. Architectural access code and the requirements of the accesses with disabilities act, where feasible. The entryway slope must be minimum 1 in 12 grades, and thresholds must be not exceeding ½ inch in height. Doors must be a minimum of 36 inches in width, with a Clearance of 18 inches on the pull side. Doors must pull out. Door hardware must be a type of grade one.
- A recessed entry should be maintained if possible. The floor of the entry should use a material compatible with the storefront design, which resists expansion and contraction, is impervious to water penetration, and offers adequate traction.
- Avoid the installation of a solid entry door. Entry doors should have at least 50 percent of the surface glazed, and should be compatible in design.

**Signage:** In slave island area, signage is regulated by this proposal. Before a new storefront sign can be installed, or an existing sign altered, application must be submitted to and be approved by the Slave Island sign review board. All signs must be installed in accordance with the requirements of the ordinance, and be aesthetically designed. Among the more important criteria of the ordinance: (Figure 4.8)

- Only one principle sign is allowed per business.
- Signage must be installed in the façade signboard, or other architecturally appropriate location, and must not cover important

Architectural features of the façade.

- The total area of the store front signage must not exceed one square foot for each liner foot or storefront. In situation where individual letters are being installed directly onto the signage, sign review board has calculated the area of the sign to be smallest rectangle which would encompass all of the lettering.
- No interior lit or neon signs are permitted.
- Overhanging signs are not permitted.
- Window signs must not exceed 20 percent of the total area of each display window.
- Window sign and awning lettering are not included in the calculation of total permitted sign area, above.
- In general, signs should be aesthetically pleasing in design.



Building- A

Figure 4.7

Entryways

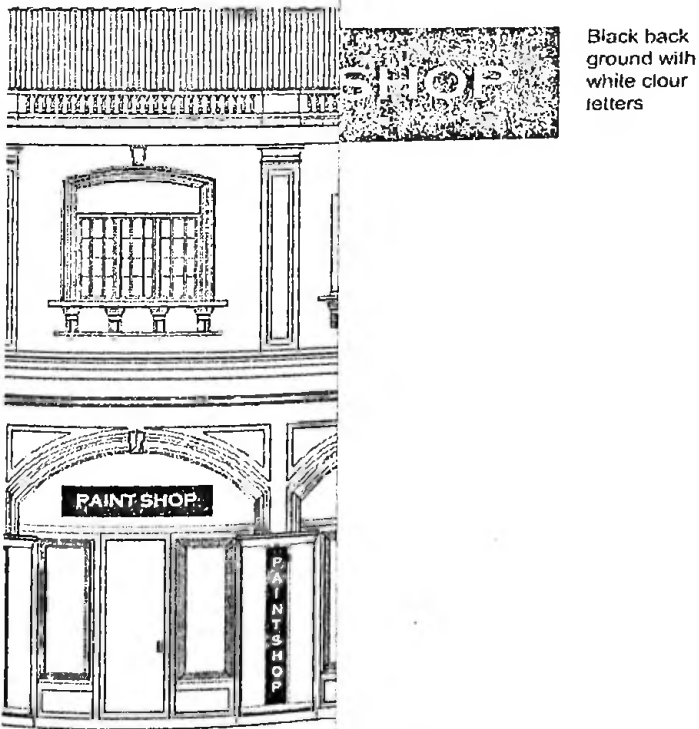


Figure 4.8

Signage

**Lighting:** Exterior lighting is an important component of store front design, in particular for the illumination of signage, especially when considering that interior lit signs, and exterior neon signs, are prohibited by the sign review ordinance.

- A façade lighting design may employ incandescent fixtures or vertical fluorescent fixtures, or a combination of both, fluorescent fixtures often work best, and are least obtrusive, when placed below the signage and light in an upward direction.
- Lighting which highlights the sign and display areas generally superior to lighting the entire storefront
- In a multi-unit storefront, a uniform lighting scheme should be employed throughout.

**Colors:** In slave island area we have not reached the stage of analyzing the colors. An original color harmony, through examining previous documentation and intervention we will establish the color scheme as white. But Same British and Dutch architectural styled colonial old towns in Malacca were all painted in red. By the same token, most historic buildings in the city of Edinburgh, Scotland appear in gray. Consequently we will propose the color scheme to Slave Island. (Figure 4.9)

- A façade design should employ limited palette of complimentary colors, which if possible do not clash with the schemes of adjacent buildings. Extremely bold color schemes should be avoided.



- Colors must be applied in the façade, and must not cover important Architectural features of the façade.
- Before a new storefront colors can be applied or an existing color altered, application must be submitted to and be approved by the Slave Island review board. All colors must be applied in accordance with the requirements of the ordinances,

**Pavement and other street related items:** Pavements are broken in many places hindering the free movement of pedestrians. Pavement has to be redesigned. And other street elements that are redesigned should be matched with the existing architectural harmony, such as traffic lights, street lamps, etc (Figure 4.10)

- Not permitted to obstruct the pavement.
- Should be redesigning a separate area for Parking. .
- Street furniture too has to be redesigned to suit the character of the area

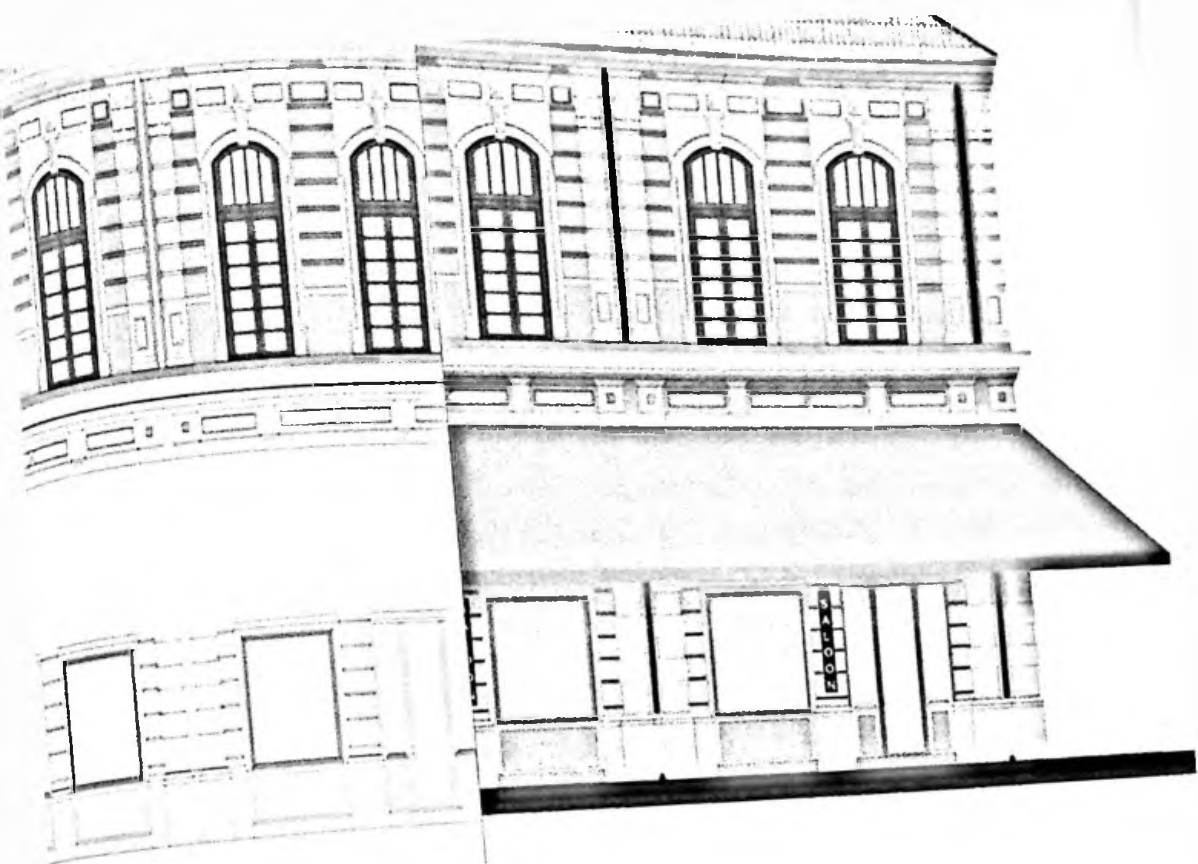
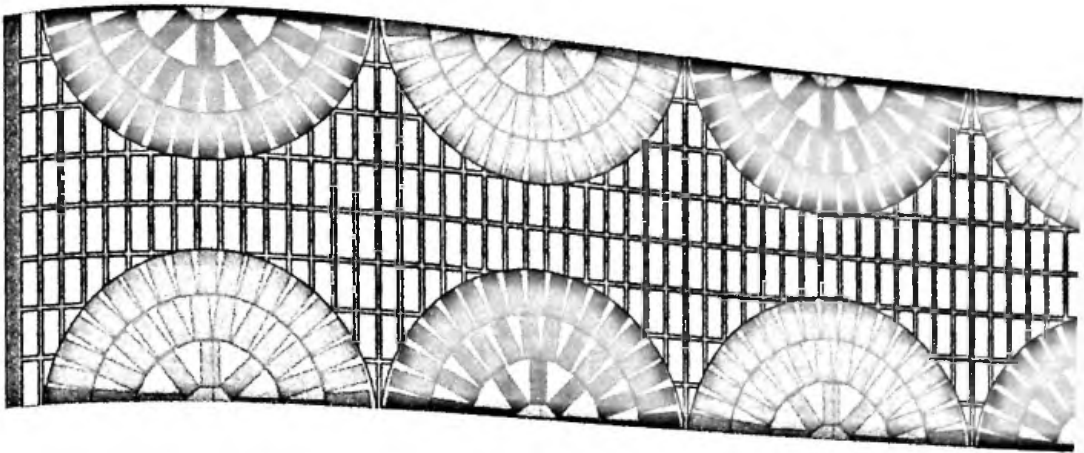


Figure 4.9

Colors



Basic form for paving

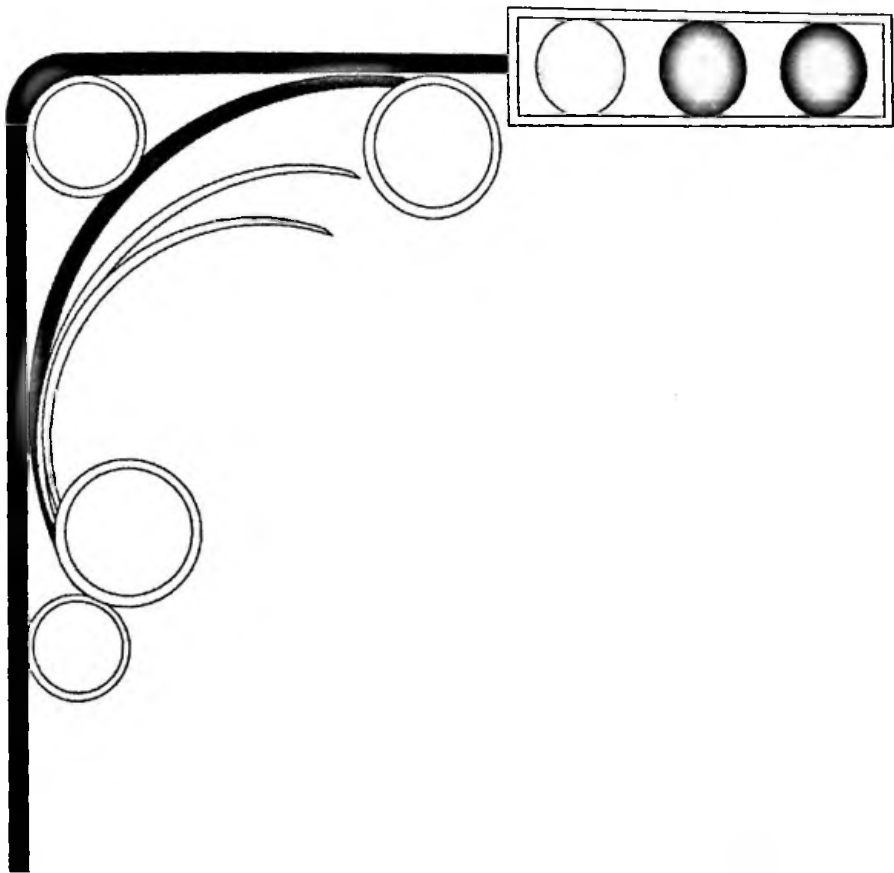


Figure 4.0

Pavement and other street related items

## Conclusion

This study demonstrate justice Akbar Street- soyza building, postal No 125 building, postal No 137 building and postal No 140 building. ( still remaining colonial streetscapes) with streetscape (façade) common characteristic of design, which exist throughout while being subjected to various colonial influences. This is an attempt of understanding the qualities that distinguishes the streetscape and varied characteristics of in an architectural role, so in a sense this is a visual exploration of these street.

This study will take the initiative curative proposal for preservation and create an urban environment conducive for living as well as for wholesale and retail commercial activities in the slave island area. Should Active privet participation in conservation and development activities also will encouraged, together with government and privet sectored involvement, with all those above parties together it would be possible to implement the conservation and redevelop plan, to uplift the beauty of slave island area.

All the factors should be taken into consideration as method of approaches in the conservation process. This study deals with a visual environment which is continually subjected to change. What matter how and where change takes place. What is important therefore is, to influence and retain the feeling of colonial identity, quality and the interest of its streetscape. As well as the curative design proposal is subject to insure for Preservation to visual identity.

Should be formed local authority for control the activities and secure to curative design implementation, the local authorities

Impose rules and regulation to control the development of the conservation area.

From the very beginning, the project was preoccupied by the need to define those aspects of the old city of Slave Island that are in need to preserved, and to control the changes in those areas where change is inevitable and irreversible. Slave Island should not to be regarded only as a historical site or heritage museum, but as a living entity and part of a changing world. The ability of its people to adapt is a major driving force insuring is continuity for more than 100 years.

However consolidate as colonial streetscape more scientific researchers are required. Because more developments are Form the changers taking places in and around the fort area, Trend is towards moving the functional units away from the Colombo area to local them further away reducing the congestion. There has been hardly any purely residential area in the slave island since last two century. And for those who can afford it, luxury condominiums are coming up elsewhere in the city. When the development of slave island area people are moving and transferring from the historical resident. More scientific research are required to consolidate historical streetscape within the urban development such as uplift the historical resident facilitates and insure the they are income within the colonial identity.

In future prevails, Slave Island its colonial heritage of buildings and township, or what remains of it, and become a "tourist city" within the city of Colombo with the wide roads becoming streets for walking, and open space for relaxing. Uncongested bazaar

type shopping and food stalls, the old streetscape may find a new life that is not detrimental to its heritage.

Summarize and need to do

Preserve the studied colonial streetscape should be curative proposal are implementation on the studied area.

Need to scientific research for preservation and implementation for curative proposal about the whole area of slave island streetscape.

Need to consolidate to slave island as colonial streetscape with the future urban development's and without the harmful. More scientific involvements and discussions' are required

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