

TCP 04/53

PLANNING GUIDE LINES FOR PROPERTY DEVELOPMENT

IN THE SUBURBS OF COLOMBO

A Dissertation presented

To

The Department of Town and Country Planning

University of Moratuwa Sri Lanka

පුස්තකාලය  
මොරටුව විශ්ව විද්‍යාලය, ශ්‍රී ලංකාව  
මොරටුව

In Partial Fulfilment of the Requirements for the

Degree of Master of Science

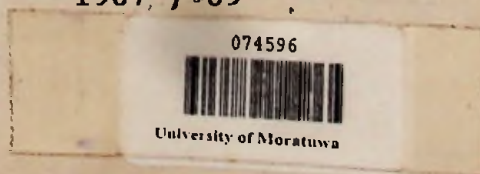
in Town and Country Planning.

711 "89"  
711.14

P. K. Y. PERERA

1987: 7389

74596



74596

TH

## ACKNOWLEDGMENTS

This Study was carried out with the close guidance of the Academic Staff of the Department of Town and Country Planning.

I owe a deep debt of gratitude to Mr. A.L.S. Perera, Head of the Department of Town and Country Planning and the Director of Post Graduate Studies, who as my supervisor so painstakingly went through the draft and guided me throughout, in the preparation of this dissertation.

I also wish to thank Mr. K.D. Fernando Senior Lecturer in the Department of Town and Country Planning, for suggesting the title of this dissertation, and Mr. M.G. Karunaratne Senior Lecturer in The Department of Town and Country Planning for going through the draft and making improvements in the text.

I also offer my thanks to the Battaramulla Pradeshiya Sabha and my students who helped me in the collection of data and material to carry out the study. I am grateful to the Librarian and Staff of the Moratuwa University and the Urban Development Authority for their invaluable assistance in finding the necessary books and lending them to me at the right time.

Particular mention must be made of Mr. W. A. Siriwardena, Director Planning, Mr. H.P. Susiripala, Assistant Director Planning and Mr. K.A. Jayaratne, Lecturer, Sri Jayewardenepura University who inspired me throughout in the preparation of the dissertation.

Finally I wish to thank Miss W.G. Nimali Priyanthi for typing the manuscripts.

# C O N T E N T S

	Page
1. ACKNOWLEDGEMENT	i
2. CONTENT	ii
3. LIST OF TABLES	iii
4. LIST OF FIGURES	iv
5. SYNOPSIS	v
6. METHODOLOGY	vi
7. CHAPTER ONE	
DEVELOPMENT PLANS OF THE CITY OF COLOMBO AND THE SUBURBAN GROWTH	
1.0 INTRODUCTION	01
1.1 DEFINITION OF URBAN AREAS	01
1.2 THE CITY OF COLOMBO EMERGING AS THE CAPITAL OF SRI LANKA	03
1.3 POPULATION GROWTH IN THE CITY OF COLOMBO AND THE SUBURBS	04
1.4 DEVELOPMENTS PLANS FOR THE CITY OF COLOMBO	06
1.4.1 HOUSING AND TOWN IMPROVEMENT ORDINANCE	
1.4.2 THE GEDDES PLAN	
1.4.3 CLIFFORD HOLLIDAY PLAN	
1.4.4 SIR PATRIC ABERCROMBIE PLAN	
1.5 SUBURBAN GROWTH OF COLOMBO	12

1.6	REGIONAL INFLUENCE OF COLOMBO	15
1.7	COLOMBO MASTER PLAN	15
1.8	GOVERNMENT POLICY	17
1.9	CONCLUSION	18
	REFERENCES	20
<b>CHAPTER TWO</b>		
<b>LAND MARKET PROPERTY DEVELOPMENT AND URBANISATION</b>		
2.0	INTRODUCTION	21
2.1	LAND MARKET	21
2.1.1	Definition of the land market	
2.1.2	Concentric Zone concept	
2.1.3	The axial development concept	
2.1.4	Sector concept	
2.1.5	Multiple - Nuclei concept	
2.2	PROPERTY DEVELOPMENT	27
2.2.1	Definition of Property Development	
2.3	PROPERTY DEVELOPMENT AND URBANISATION	32
2.3.1	Property Development trend in the suburbs of Colombo	
2.3.2	Land sub division	
2.3.3	Housing development	
2.4	CONCLUSION	40
	REFERENCES	42

## CHAPTER THREE

### PLANNING IMPLICATIONS OF PROPERTY DEVELOPMENT

3.0	INTRODUCTION.	43
3.1	PROPERTY DEVELOPMENT IN A PLANNING CONTEXT.	43
3.1.1	imperfections in the land market.	
3.1.2	compensation and Betterment.	
3.1.3	Land use planning and property development.	
3.2.0	INTERACTION BETWEEN FACTORS OF PRODUCTIONS AND ACTIVITIES OF PEOPLE.	50
3.2.1	Location of activities in space.	
3.3	PLANNING AND PROPERTY DEVELOPMENT.	51
3.4.0	METHODS AND TECHNEQUES USED TO GUIDE PROPERTY DEVELOPMENT	52
3.4.1	master plan.	
3.4.2	structure plans.	
3.4.3	planning and building regulations.	
3.5	CONCLUSION.	58
	REFERENCES.	

## CHAPTER FOUR

### THE STRUCTURE OF THE SUBURBS OF COLOMBO

4.0	INTRODUCTION.	61
4.1	DEFINITION OF A SUBURB.	61
4.2.0	THE PROFILE OF THE SUBURBAN TOWNS.	64
4.2.1	demographic characteristics.	
4.2.2	status of local authorities.	
4.2.3	geographical area.	
4.2.4	infrastructure facilities.	
4.2.5	amenities.	
4.2.6	roads.	
4.2.7	commercial development.	
4.2.8	average land values in the suburbs of Colombo.	
4.2.9	government policy affecting the suburbs of Colombo.	
4.2.10	development potential in the suburbs of Colombo.	
	CONCLUSIONS.	71

## CHAPTER V

### PLANNING LAW AND SUBURBAN DEVELOPMENT

5.0	INTRODUCTION.	73
5.1.0	LEGISLATIVE ENACTMENTS WITH REGARD TO PLANNING.	73
5.1.1	housing and town improvement ordinance.	
5.1.2	town and country planning ordinance, 1946.	
5.1.3	urban development authority law No.41 of 1978.	
5.1.4	greater Colombo economic commission law, No.4 of 1978.	
5.1.5	Pradeshiya Sabha act No.15 of 1987.	
5.1.6	the cost conservation act No.57 of 1981.	
5.1.7	national housing act no.37 of 1954.	
5.1.8	national housing development authority.	
5.2.1	planning implications of property development in the suburbs of colombo.	81
5.3.0	CONCLUSIONS.	81

## CHAPTER SIX

### SELECTION OF A CASE STUDY AREA

6.0	INTRODUCTION.	83
6.1	OBJECTIVE OF THE STUDY.	83
6.2	ANALYSIS.	85
	1. roads.	
	2. railways.	
	3. residential land.	
	4. pipe-borne water.	
	5. sewerage.	
	6. industrial land.	
	7. public and semi-public land.	
	8. population growth rates.	
	9. commercial areas.	
	10. density.	
	11. extent.	
	12. parks and play grounds.	
	13. rate of unemployment.	
	14. land values.	
6.3	CONCLUSION.	88





## CHAPTER SEVEN

### DEVELOPMENT TREND AND POTENTIAL IN BATTARAMULLA

7.0	INTRODUCTION.	89
7.1	SURVEY OF BATTARAMULLA.	89
7.1.1	Survey Methodology.	
7.1.2	Designing the field survey.	
7.1.3	Method of collecting data.	
7.2	ACTUAL SURVEY.	92
7.2.1	Policies of the present government.	
7.3	LAND MARKET IN BATTARAMULLA.	94
7.4	LAND SUBDIVISIONS.	97
7.5	PROPERTY DEVELOPMENT IN BATTARAMULLA.	100
7.6	INFRASTRUCTURE DEFICIENCIES IN RELATION TO PROPERTY DEVELOPMENT.	104
7.6.1	Roads.	
7.6.2	Garbage collections.	
7.6.3	Sewerage.	
7.6.4	Water.	
7.6.5	Social infrastructure.	
7.7	HOUSING SCHEMES.	109
7.8	LINKAGES WITH COLOMBO.	110
7.9	PLANNING ADMINISTRATION IN BATTARAMULLA.	111
7.10	DEVELOPMENT TREND IN BATTARAMULLA.	112
7.11	DEVELOPMENT POTENTIAL IN BATTARAMULLA.	
7.12	CONCLUSION.	



## CHAPTER EIGHT

### CONCLUSIONS AND RECOMMENDATIONS

8.0	INTRODUCTION.	116
8.1	GENERAL CONCLUSIONS	116
8.1.2	Specific conclusions for Bartaramulla Pradeshiya Sabhawa.	
8.2.0	Recommendation	
	INTRODUCTION	123
8.2.1	principles of participatory	
8.2.2	Principle of functional identity.	
8.2.3	principle of harmonius development	
8.2.4	principle of regulatory control.	
8.2.5	principle of investment promotion.	
8.2.6	principle of development management	
8.2.7	principle of participatory management	
8.2.8	principle of economic viability.	

LIST OF TABLES

1.1	Growth of Population in Colombo and Suburbs	03
1.2	Population and Land Use Pattern in the Suburbs of Colombo	05
1.3	Population of Large Towns in Sri Lanka	14
4.1	Housing Density in the Suburbs of Colombo	63
4.2	Average Land Values in the Suburbs of Colombo	67
4.3	Buildings Applications in Kolonnawa UC Area	69
4.4	Building Applications in Battaramulla	70
5.1	Score and Weight for Each Land Use.	84
7.1	Land Values in Battaramulla.	96
7.2	Land Sub Divisions in Battaramulla.	98
7.3	Property Development in Battaramulla.	100
7.4	Schools in Battaramulla.	109
7.5	Housing Schemes in Battaramulla.	110

7.6	Revenue of Battaramulla Pradeshiya Sabahawa.	112
8.1	Institutional Structure for Participatory Planning.	129



LIST OF FIGURES

1.1	Colombo Improvement proposals (P. Geddes)	07
1.2	Colombo Regional Plan	09
1.3	Urban Areas of Sri Lanka	13
1.4	Colombo Urban Area	16
2.1	Land Subdivision Schemes Carried Out in the Western Province From Negombo in the North in to Kalutara the South by all Property Development, Development Companies Before 1965.	34
2.2	Land Subdivision Schemes Carried out in the Western Province from Negombo in the North to Kalutara in the South by all Property Development Companies from 1965 to 1970.	35
2.3	Land Subdivision Schemes Carried out in the Colombo Metropolitan Area by all Property Development Companies Before 1965.	36
2.4	Land Subdivision Schemes Carried out in the Colombo Metropolitan Area by All Property Development Companies from 1965 to 1970.	37
2.5	Land Subdivision Schemes Carried out in the Colombo Metropolitan Area by All Property Development Companies From 1971 to 1973.	38



2.6	Land Subdivision by Property Development	39
3.1	Three Classes of Social Change	49
7.1	Relocation of State Sector Administrative Functions.	91
7.2	Battaramulla Pradesiya Sabhawa - Land Value - 1990	93
7.3	Battaramulla Pradesiya Sabhawa - Road Network	95
7.4	Battaramulla Pradeshiya Sabhawa - No of Building Applications Recieved 1986 - 1989.	99
7.5	Battaramulla Density of Building - year 1989.	101
7.6	Battaramulla Pradeshiya Sabhawa - Building Density year 1989.	102
7.7	Battaramulla Pradeshiya Sabhawa - Location of Schools.	106
7.8	Battaramulla Pradeshiya Sabhawa - Housing Schems.	108
7.9	Battaramulla Pradeshiya Sabhawa - Proposed Community level Planning Units.	125

## SYNOPSIS

### Chapter I      Development Plans of the city of Colombo and suburban growth.

In the Sri Lankan context urban areas are defined by the size of population as large medium and small towns. Colombo with its cluster of cities around it forms a large conurbation where there are fourteen towns including Colombo. Though attempts were made from time to time plan the growth and development of Colombo, no effective steps were taken to plan suburbs of Colombo, until very recent times. After the preparation of the master plan for Colombo and its region, attention is now focused in the development of the suburbs of Colombo.

### Chapter II      Land Market, property development and Urbanisation.

property development that takes place in urban areas via the land market takes a pattern of land uses. In this pattern of land uses the outer most zones are generally occupied by high income groups and middle income groups. The suburbs of Colombo come within this zone. In the past few decades the land market had been very active in the suburbs of Colombo resulting in land subdivision and property development.

### Chapter III      Planning Implication of property development.

As allocation of resources for property development is induced by the land market the function of the planner is largely to correct the imperfections in the land market. The planner uses many different techniques for this purpose. Traditionally it had been the preparation

of a master Plan. Owing to its rigidity and expenses involved, presently the structure Plans are used which are more action oriented than Master Plans.

#### Chapter IV The structure of the Suburbs of Colombo.

The suburban towns of Colombo comprises 13 local authorities, one Municipal Council Five Urban Councils and Seven Town Councils. The town councils have now been incorporated with pradeshiya Sabhas. The Local Authority areas also differ from 3.2 square kilometers to 20.8 square kilometers. Most of the suburban towns have growth rates with consequent property development. But suburban towns are lacking infrastructural facilities associated with high urban concentration.

#### Chapter V Planning Frame work for property development.

Until very recent times property development in the suburbs of Colombo was regulated by the Housing and Town Improvement Ordinance. Preparation of development plans for some of the local authority areas are now in progress. However, there are several institutions that have direct control over the property development in the suburbs of Colombo. They are national Housing Development Authority, Land reclamation board, Coast Conservation Development Authority. The infrastictural services for prperty development are done by institution such as the Electricity Board and Water and Drainage Board.

#### Chapter VI Selection of a Case Study Area.

Local Authority in the Suburbs of Colombo have many constraints for harmonious property development. Some



areas could be identified as stress areas that needs planning intervention. As it is not possible to make a detailed study of the entire suburb of Colombo, multivariant technique was used to identify a stress areas which in this case is Battaramulla.

#### Chapter VII      Development Constants and Potentials of Battaramulla.

Though Battaramulla is within the ten largest towns in Sri Lanka it is only a Pradeshiya Sabha with limited powers and financial resource. It has a very poor service index and needs to be urgent remedial measures. Battaramulla form part of new capital city Kotte, therefore it has to be planned to keep to the status dignity of a capital city. There is land available to plan the growth and development of Battaramulla.

#### Chapter VIII

The following recommendations are made for property development in the suburbs of Colombo.

1. Principle of participatory planning.
2. Principle of functional identity.
3. principle of harmonious development.
4. Principle of regulatory control.
5. principle of investment promotion.
6. Principle of development management.
7. Principle of participatory management.
8. Principle of economic viability.